

ARCHITECTURAL DRAWING SCHEDULE

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DEVELOPMENT APPLICATION

ISSUE D

Date 15.07.2024

Project 206-214 Lakemba Street, Lakemba NSW

Client Greek Orthodox Community of NSW



Katris Architects Pty Ltd

Nominated Architects Nick Katris (Reg 3878), Peter Katris (Reg 4569), Chris Katris (Reg 9724)
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COMPLIANCE & SITE INFORMATION:

LGA. CANTERBURY-BANKSTOWN COUNCIL
DA NO.

SITE DETAILS

STREET ADDRESS 206-214 LAKEMBA STREET ,LAKEMBA
LOT NUMBER 1, B, B, 2, A, B, 1
DP NUMBER DP 601048, DP 359878, DP 356540, DP16610, DP 369191, DP 369191, DP 9727
ZONING B2 LOCAL CENTRE
BUILDING CLASS CLASS 5, 6, 7a, & 9b
BUILDING HEIGHT LIMIT 18M
HERITAGE AREA N/A
ACID SULPHATE AREA N/A
SITE AREA 5119M²

PROPOSED CAR PARKING:

• PROPOSED GROUND CAR SPACES	21 CAR SPACES : 2 X ACCESSIBLE PARKING 19 X RESIDENTIAL PARKING
• PROPOSED BASEMENT 1 - CAR SPACES	***** REFER TO TRAFFIC REPORT PREPARED BY TTPP TRANSPORT PLANNING PTY LTD**** 58 CAR SPACES : 4 X ACCESSIBLE PARKING 54 X RESIDENTIAL PARKING
• PROPOSED BASEMENT 2 - CAR SPACES	***** REFER TO TRAFFIC REPORT PREPARED BY TTPP TRANSPORT PLANNING PTY LTD**** 52 CAR SPACES : 4 X ACCESSIBLE PARKING 8 X RESIDENTIAL PARKING
• TOTAL PROPOSED CAR PARKING:	131 CAR SPACES
• PROPOSED MOTORCYCLE SPACES	18 X MOTORCYCLE SPACES
• PROPOSED BICYCLE SPACES	43 X BICYCLE SPACES
	***** REFER TO TRAFFIC REPORT PREPARED BY TTPP TRANSPORT PLANNING PTY LTD****

Amendments to Plan Floor by Floor:

Basement Level 2:

- [Amendment B2.1](#) - Mechanical Services added to plans from service spatial shown in blue dash lines
- [Amendment B2.2](#) - Electrical Services added to plans from service spatial shown in red lines/fills
- [Amendment B2.3](#) - Hydraulic Services added to plans from service spatial shown in purple lines/fills
- [Amendment B2.4](#) - Fire Services added to plans from services spatial shown in orange lines/fills
- [Amendment B2.5](#) - Stormwater integrated into plans

Basement Level 1:

- [Amendment B1.1](#) - Mechanical Services added to plans from service spatial shown in blue dash lines
- [Amendment B1.2](#) - Electrical Services added to plans from service spatial shown in red lines/fills
- [Amendment B1.3](#) - Hydraulic Services added to plans from service spatial shown in purple lines/fills
- [Amendment B1.4](#) - Fire Services added to plans from services spatial shown in orange lines/fills
- [Amendment B1.5](#) - Amendments to plant room to satisfy BCA report Design rectification
- [Amendment B1.6](#) - Stormwater integrated into plans

Ground Floor Level:

- [Amendment GF.1](#) - Mechanical Services added to plans from service spatial shown in blue dash lines
- [Amendment GF.2](#) - Electrical Services added to plans from service spatial shown in red lines/fills
- [Amendment GF.3](#) - Hydraulic Services added to plans from service spatial shown in purple lines/fills
- [Amendment GF.4](#) - Fire Services added to plans from services spatial shown in orange lines/fills
- [Amendment GF.5](#) - Amendments to Lakemba street ramp/shopfront area
- [Amendment GF.6](#) - Amendment to shop areas to have storage facilities
- [Amendment GF.7](#) - Amendments to ground to kitchen to have more than one entry and access to the bar area
- [Amendment GF.8](#) - Amendments to plan to have railing for safety
- [Amendment GF.9](#) - Amendments to plan to have all theatre seating facing towards the stage
- [Amendment GF.11](#) - Amendments to plan to show incorporate SW design in to Architecturals
- [Amendment GF.12](#) - Removal of windows and Door moved to satisfy BCA report Design Rectification
- [Amendment GF.13](#) - Door type changed to satisfy BCA report Design Rectification
- [Amendment GF.14](#) - Door type change to satisfy BCA report Design Rectification
- [Amendment GF.17](#) - Amendments to bathroom areas to have airlock space (satisfy BCA report design rectification)
- [Amendment GF.18](#) - Amednments to plan to include bike parking at grade
- [Amendment GF.19](#) - Amendment to main stair entry to contain hand rails every 2 metres to satisfy Design rectifications from the BCA report
- [Amendment GF.20](#) - Amendment to fire stair to satisfy BCA report Design Rectification
- [Amendment GF.21](#) - Stormwater integrated into plans
- [Amendment GF.22](#) - Parking and vehical access amendments relocated to allow for 10 metre landscaped setback

Level 1:

- [Amendment L1.1](#) - Mechanical Services added to plans from service spatial shown in blue dash lines
- [Amendment L1.2](#) - Electrical Services added to plans from service spatial shown in red lines/fills
- [Amendment L1.3](#) - Hydraulic Services added to plans from service spatial shown in purple lines/fills
- [Amendment L1.4](#) - Fire Services added to plans from services spatial shown in orange lines/fills
- [Amendment L1.5](#) - Amendment to bathroom area to contain airlock space and not open directly to adjacent space
- [Amendment L1.6](#) - Stormwater integrated into plans
- [Amendment L1.7](#) - New masonry wall with double doors opening to the balcony for acoustic benefits

Level 2:

- [Amendment L2.1](#) - Mechanical Services added to plans from service spatial shown in blue dash lines
- [Amendment L2.2](#) - Electrical Services added to plans from service spatial shown in red lines/fills
- [Amendment L2.3](#) - Hydraulic Services added to plans from service spatial shown in purple lines/fills
- [Amendment L2.4](#) - Fire Services added to plans from services spatial shown in orange lines/fills
- [Amendment L2.5](#) - Amendment to plan accessible balcony areas
- [Amendment L2.6](#) - Stormwater integrated into plans

Level 3:

- [Amendment L3.1](#) - Mechanical Services added to plans from service spatial shown in blue dash lines
- [Amendment L3.2](#) - Electrical Services added to plans from service spatial shown in red lines/fills
- [Amendment L3.3](#) - Hydraulic Services added to plans from service spatial shown in purple lines/fills
- [Amendment L3.4](#) - Fire Services added to plans from services spatial shown in orange lines/fills
- [Amendment L3.5](#) - Amendment to plan accessible balcony areas
- [Amendment L3.6](#) - Stormwater integrated into plans

Level 4:

- [Amendment L4.1](#) - Mechanical Services added to plans from service spatial shown in blue dash lines
- [Amendment L4.2](#) - Electrical Services added to plans from service spatial shown in red lines/fills
- [Amendment L4.3](#) - Hydraulic Services added to plans from service spatial shown in purple lines/fills
- [Amendment L4.4](#) - Fire Services added to plans from services spatial shown in orange lines/fills
- [Amendment L4.5](#) - Amendment to plan accessible balcony areas
- [Amendment L4.6](#) - Stormwater integrated into plans

Roof Level:

- [Amendment RL.1](#) - Amendment to plan to include roof details & RL's
- [Amendment RL.2](#) - Amendment to plans to include PV's
- [Amendment RL.3](#) - Stormwater integrated into plans

Sections:

- [Amendment S.1](#) - Natural ground line and rl's directly under highest point of roofs

ABBREVIATIONS	
	= DENOTES HARD WIRED SMOKE ALARMS SMOKE-ALARMS WILL BE INSTALLED IN ACCORDANCE WITH THE NCC 2019 VOL 1 AND AS 3786-2014.
	= DENOTES FLOOR WASTES AS PER NCC 2019 VOL 1 DRAINAGE FLANGES/SPOULE FLANGES MUST BE INSTALLED TO ALL FLOOR WASTES DURING THE WATERPROOFING STAGES. REFER TO ARCH SPEC AND MANUFACTURERS RECS. REFER TO TYPICAL INDOOR AND OUTDOOR WATERPROOFING DETAIL.
NG. RL. 00	= DENOTES NEW PROPOSED NATURAL GROUND LEVEL
FFL. RL. 00	= DENOTES FINISH FLOOR LEVEL
	= DENOTES DOWN PIPES TO STORMWATER AND HYDRAULIC ENGS DETAILS
	= DENOTES WHEEL STOP TO AS2990.1
BO	= BOLLARD AS PER AS2890.6 AND BCA 2019 AMDT 1 VOL 1
OF —	= OVERFLOW TO STORMWATER AND HYDRAULIC ENGS DETAILS
VD ○	= VERT. DROP AS PER ENGS DETAILS
IO ○	= INSPECTION OPENING AS PER ENGS DETAILS
CO ⊙	= CLEANING EYE (OR INSPECTION EYE) AS PER ENGS DETAILS
PG ○	= PLANTER GRATE AS PER ENGS DETAILS
	= STORMWATER PIT AS PER ENGS DETAILS
RWO	= DENOTES RAIN-WATER OUTLET TO STORMWATER ENGS DETAILS
TGSI	= DENOTES TACTILE GROUND SURFACE INDICATOR TACTILE GROUND SURFACE INDICATORS (TGSI) ARE TO BE PROVIDED TO: • ALL RAMPS AND STAIRS • ALL OVERHEAD OBSTRUCTIONS <2M ABOVE FLOOR LEVEL TGSI ARE TO BE PROVIDED IN ACCORDANCE WITH AS1428.4.1 & 2
FG □	= DENOTES FLOOR GRATE MIN. 1% FALL TO FLOOR GRATE) TO STORMWATER AND HYDRAULIC ENGS DETAILS.
	= DENOTES TREES TO BE REMOVED

ARCHITECTURAL - GENERAL NOTES
A1 All dimensions are to be confirmed on site by the builder/subcontractor, any incongruities must be reported to the Architect before commencement of any work.
A2 The Builder/subcontractor will be held responsible for any construction details which have not been approved by the Architect.
A3 In the event of encountering any discrepancies on these drawings, specification or subsequent instructions issued, the Builder/subcontractor shall contact the Architect before proceeding further with any work.
A4 The Builder/subcontractor will be held responsible for the extinguishment of the whole building for a minimum period of two years after the date of practical completion.
A5 It is the contractor's responsibility to have all Architectural & Structural documentation, including all site instructions any any details issued during the course of construction, approved by the relevant authorities including the local Council & the Water Board before any work may be proceeded with.
A6 All construction, control joints and expansion joints in the wall, floors, & other locations shall be in strict accordance with Architectural and/or Structural Engineering details. Neglects or breaches other than specified, are allowed without written permission from the Architect and/or Engineer.
A7 Measurements for the fabrication of secondary components such as, windows, doors, internal frames, structural steel components and the like, are not to be taken from these documents. Measurements must be taken on site and for work as constructed.
A8 All structural components shall be in strict accordance to details and specifications as prepared by a structural engineer, and those details from part of the total specification.
A9 All existing structures need to be examined for structural adequacy, and it is the Contractor's responsibility to ensure that a certificate of structural adequacy is available prior to the start of any work.
A10 No construction work shall commence until a site survey has been completed. This work must be performed by a registered Surveyor.
A11 Foundation set-out, to be performed by the Surveyor mentioned in A10 and recovery pegs must be protected during construction.
A12 All timber work to comply with the requirements of the Light Timber Framing Code of A.A. Codes and Structural Engineer's details and specification.
A13 Copyrights of all documentation and designs relating to both Architectural and Structural Engineering, are retained by this office. Written authority is required for any reproduction.
A14 All Architectural documentation to be read in conjunction with the Structural Engineer's details and specification.
A15 Comply with the 'hazardous material' clause of the specification.
IMPORTANT NOTE: It is the Tenderer's & Contractor's responsibility to check that all Architectural, Structural and all other job related documentation's have been received before tendering and/or construction may commence. Should there be any doubt as to the availability of such documents the Architect should be notified before further details are needed, the Tenderer and/or Contractor shall obtain such details before signing of contract documents. Failure to adhere to these conditions, the Tenderer and/or Contractor nullifies any right of claim for extras, due to interpretation of documentation, and the Architect's &/or Engineer's direction shall be carried out at the extra cost.

DRAWN	DATE	ISSUE	AMENDMENT
NB	11.06.2024	A	RESPONSE TO COUNCIL RFI

PROJECT
206-214 Lakemba Street, Lakemba NSW
SADAD
CLIENT
Greek Orthodox Community of NSW

DRAWING NAME		
COMPLIANCE TABLE		
SCALE @ A1: 1 : 100	DRAWN: JT	
SCALE @ A3:	CHECKER: NK	DATE: 15.07.2024
JOB NO.	DRAWING NO.	ISSUE:
--	D000B	D

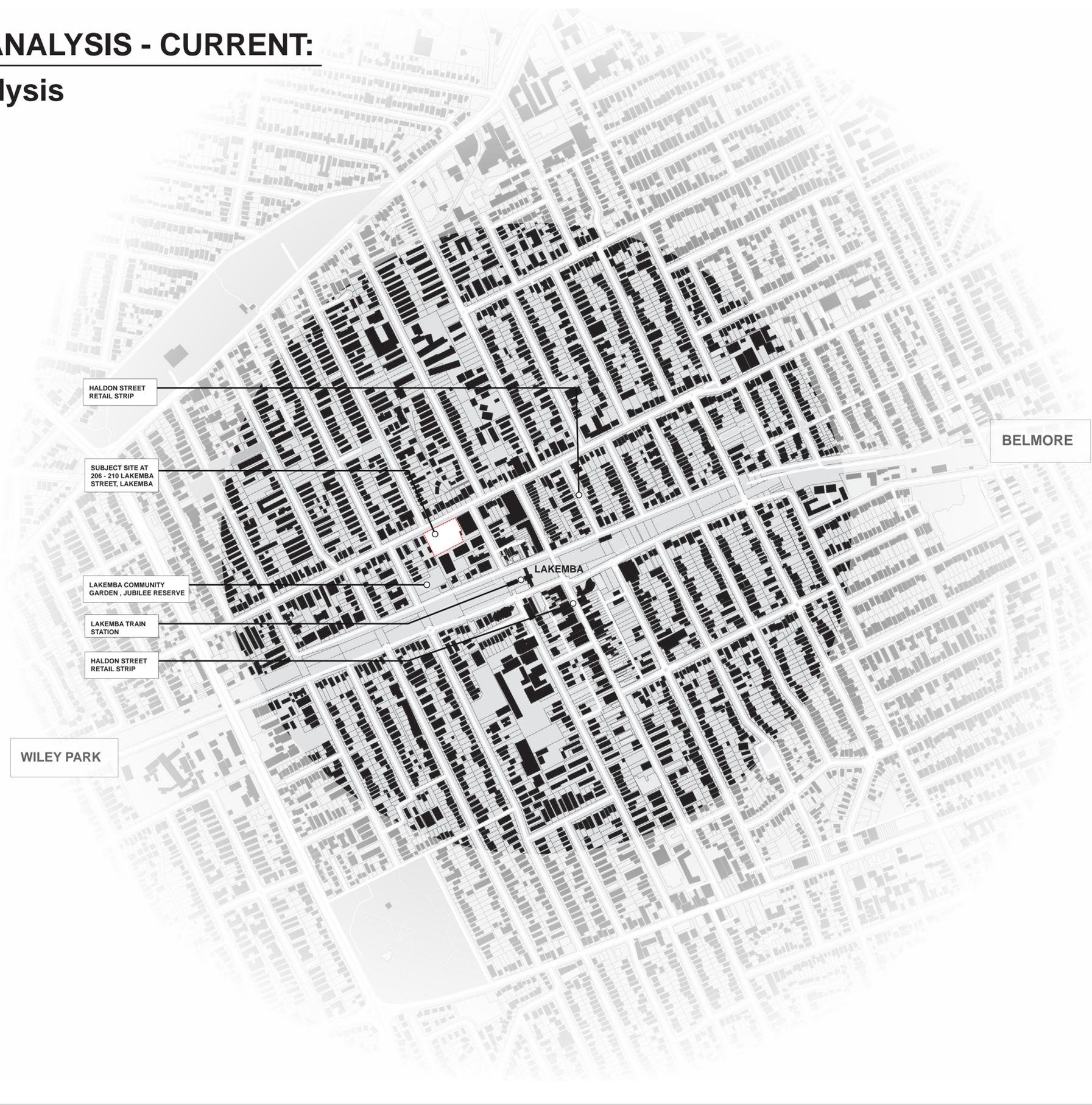
Katris Architects Pty Ltd

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SITE & CONTEXT ANALYSIS - CURRENT:

Urban Context Analysis



ARCHITECTURAL - GENERAL NOTES

A1 All dimensions are to be confirmed on site by the builder/subcontractor, any incongruities must be reported to the Architect before commencement of any work.

A2 The Subcontractor shall be held responsible for any construction details which have not been approved by the Architect.

A3 In the event of encountering any discrepancies on these drawings, specification or subsequent instructions issued, the Builder/Subcontractor shall contact the Architect before proceeding further with any work.

A4 The Subcontractor shall be held responsible for the extinguishing of the whole building for a minimum period of two years after the date of practical completion.

A5 It is the contractor's responsibility to have all Architectural & Structural documentation, including all site instructions any any details issued during the course of construction, approved by the relevant authorities including the local Council & the Water Board before any work may be proceeded with.

A6 All construction, control joints and expansion joints in the wall, floor, & other locations shall be in strict accordance with Architectural and/or Structural Engineering details. Neglects or breaks other than specified, are allowed without written permission from the Architect and/or Engineer.

A7 Measurements for the fabrication of secondary components such as, windows, doors, internal frames, structural steel components and the like, are not to be taken from these documents. Measurements must be taken on site and used for construction.

A8 All structural components shall be in strict accordance to details and specifications as prepared by a structural engineer, and those details from part of the total specification.

A9 All existing structures need to be examined for structural adequacy, and it is the Contractor's responsibility to ensure that a certificate of structural adequacy is available prior to the start of any work.

A10 No construction work shall commence until a site survey has been completed. This work must be performed by a registered Surveyor.

A11 Foundation set-out, to be performed by the Surveyor mentioned in A12 and recovery pegs must be protected during construction.

A12 All tender work is to comply with the requirements of the Light Timber Framing Code of A.S.A. Codes and Structural Engineer's details and specification.

A13 Copyrights of all documentation and designs relating to both Architectural and Structural Engineering, are retained by this office. Written authority is required for any reproduction.

A14 All Architectural documentation to be read in conjunction with the Structural Engineer's details and specification.

A15 Comply with the 'honesty marker' clause of the specification.

IMPORTANT NOTE: It is the Tenderer's & Contractor's responsibility to check that all Architectural, Structural and all other job related documentation's have been received before tendering and/or construction may commence. Should there be any doubts to the availability of such documents to the Architect should be notified before further details be needed, the tenderer and/or Contractor shall obtain such details before signing of contract documents. Failure to adhere to these conditions, the Tenderer and/or Contractor nullifies any right or claim for extras, due to interpretation of documentation, and the Architect's &/or Engineer's direction shall be carried out at the tenderer's cost.

DRAWN	DATE	ISSUE	AMENDMENT
JT	28.07.2023	A	DRAFT ISSUE FOR DEVELOPMENT APPLICATION
AJ	24.11.2023	B	DRAFT ISSUE FOR DEVELOPMENT APPLICATION
AJ	12.12.2023	C	ISSUE FOR DEVELOPMENT APPLICATION

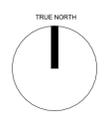
PROJECT

206-214 Lakemba Street, Lakemba NSW

SADAD

CLIENT

Greek Orthodox Community of NSW



DRAWING NAME

URBAN CONTEXT ANALYSIS

SCALE @ A1: DRAWN: JT
SCALE @ A3: CHECKER: NK DATE: 12.12.2023

JOB NO. DRAWING NO. ISSUE:
-- **A001** C

Katris Architects Pty Ltd

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SITE & CONTEXT ANALYSIS - CURRENT:

Context - Locality Plan



1. LAKEMBA TRAIN STATION



2. HALDON STREET RETAIL STRIP



3. LAKEMBA COMMUNITY GARDEN, JUBILEE RESERVE



4. EXISTING GREEK ORTHODOX COMMUNITY CENTRE AT SUBJECT SITE
206 - 210



ARCHITECTURAL - GENERAL NOTES

A1 All dimensions are to be confirmed on site by the builder/subcontractor, any inaccuracies must be reported to the Architect before commencement of any work.

A2 The Builder/subcontractor will be held responsible for any construction details which have not been approved by the Architect.

A3 In the event of encountering any discrepancies on these drawings, specification or subsequent instructions issued, the Builder/subcontractor shall contact the Architect before proceeding further with any work.

A4 The Builder/subcontractor will be held responsible for the safety of the whole building for a minimum period of two years after the date of practical completion.

A5 It is the contractor's responsibility to have all Architectural & Structural documentation, including all site instructions any any details issued during the course of construction, approved by the relevant authorities including the Local Council & the Water Board before any work may be proceeded with.

A6 All construction, control joints and expansion joints in the wall, floor, & other locations shall be in strict accordance with Architectural and/or Structural Engineering details. Nipoints or breaks other than specified, are allowed without further permission from the Architect and/or Engineer.

A7 Measurements for the fabrication of secondary components such as, windows, doors, internal frames, structural steel components and the like, are not to be taken from these documents. Measurements must be taken on site for the work as constructed.

A8 All structural components shall be in strict accordance to details and specifications as prepared by a structural engineer, and those details from part of the total specification.

A9 All existing structures need to be examined for structural adequacy, and it is the Contractor's responsibility to ensure that a certificate of structural adequacy is available prior to the start of any work.

A10 No construction work shall commence until a site survey has been completed. This work must be performed by a registered Surveyor.

A11 Foundation set-out, to be performed by the Surveyor, must be in strict accordance with the Architectural and Structural Engineering details and specifications.

A12 All interior work is to comply with the requirements of the Light Timber Framing Code of Practice, S.A.A. Codes and Structural Engineer's details and specifications.

A13 Copyrights of all documentation and designs relating to both Architectural and Structural Engineering, are retained by this office. Written authority is required for any reproduction.

A14 All Architectural documentation to be read in conjunction with the Structural Engineer's details and specifications.

A15 Comply with the 'heaviness' material' clause of the specification.

IMPORTANT NOTE: It is the Tenderer's & Contractor's responsibility to check that all Architectural, Structural and all other job related documentation have been received before tendering and/or construction may commence. Should there be any doubt as to the availability of such documents the Architect should be notified before further details are needed, the Tenderer and/or Contractor shall obtain such details before signing of contract documents. Failure to adhere to these conditions, the Tenderer and/or Contractor nullifies any right or claim for extras, due to interpretation of documentation, and the Architect's & Engineer's direction shall be carried out at the extra cost.

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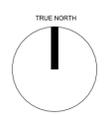
PROJECT

206-214 Lakemba Street, Lakemba NSW

SADAD

CLIENT

Greek Orthodox Community of NSW



DRAWING NAME

CONTEXT - LOCALITY PLAN

SCALE @ A1:
SCALE @ A3:

DRAWN: JT
CHECKER: NK

DATE: 12.12.2023

JOB NO.
--

DRAWING NO.
A002

ISSUE:
C

Katris Architects Pty Ltd

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SITE & CONTEXT ANALYSIS - CURRENT:

Neighbouring Developments

1. 5-7 Croydon Street Lakemba

Neighbouring development to the rear of subject site at 206 - 210 Lakemba Street, Lakemba

DA-55/2021

Construction of three residential flat buildings ranging from five to ten storeys with basement level car parking and open space areas and a new roadway to be dedicated to Council. Torrens title subdivision to create separate parcels for the laneway and the development site, and strata subdivision of the apartments

2. Lakemba Station Renewal

METRON Sydney Metro Development. Sydney Metro proposed Public Domain and Station Access Plan for improved station design, accessibility and interchange with other modes of transport. The new metro station at Lakemba will provide improved pedestrian and bicycle access



3. 2-26 Haldon Street, Lakemba

Eight (8) storey mixed use building with commercial ground floor, and residential units on top.



SCALE 1:1000

ARCHITECTURAL - GENERAL NOTES			
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AJ	24.11.2023	B	DRAFT ISSUE FOR DEVELOPMENT APPLICATION
AJ	12.12.2023	C	ISSUE FOR DEVELOPMENT APPLICATION

PROJECT	
206-214 Lakemba Street, Lakemba NSW	
SADAD	
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Greek Orthodox Community of NSW	

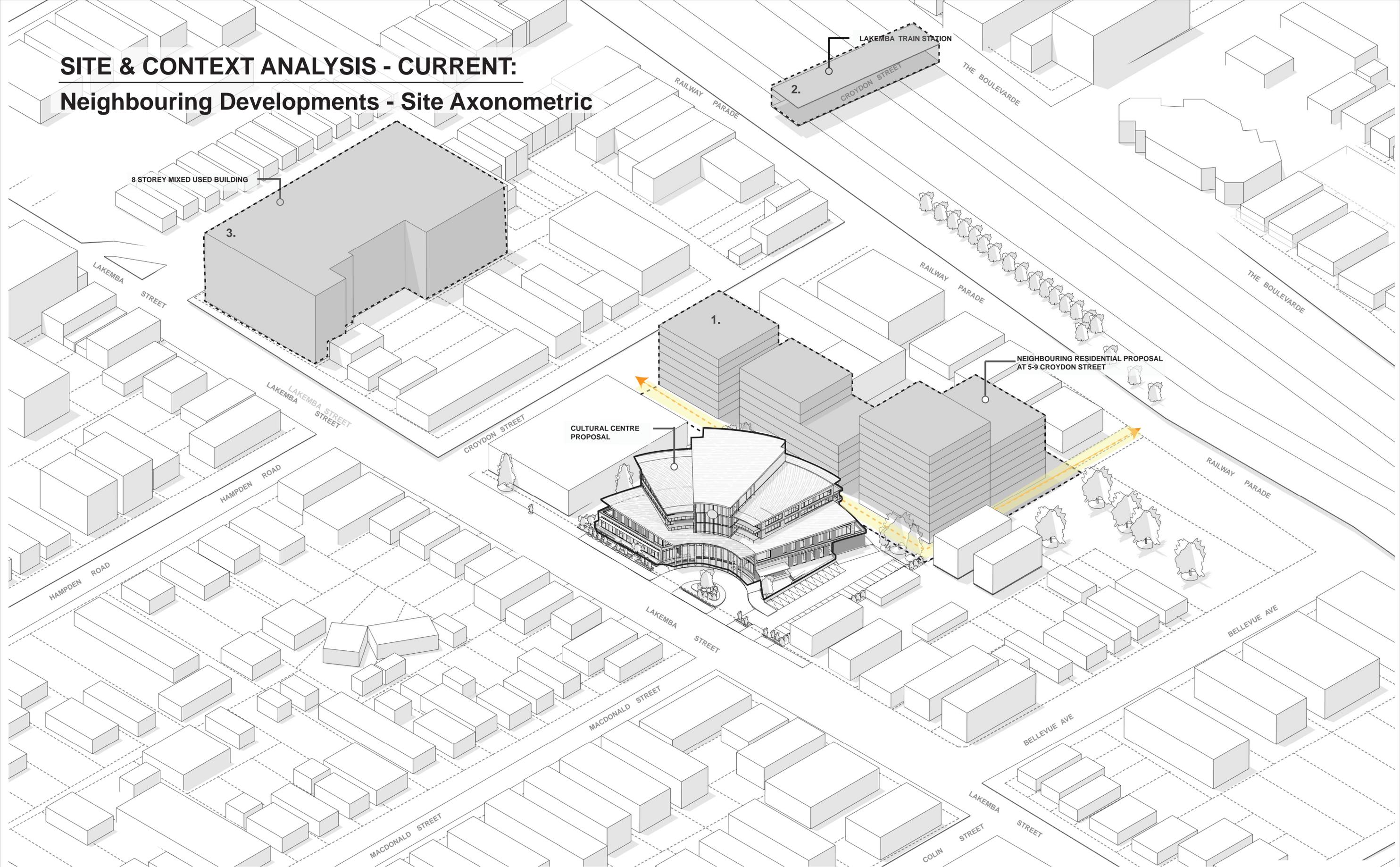
DRAWING NAME		
NEIGHBOURING DEVELOPMENTS		
SCALE @ A1:	DRAWN: JT	DATE: 12.12.2023
SCALE @ A3:	CHECKER: NK	
JOB NO.	DRAWING NO.	ISSUE:
--	A003	C

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 ABN 79 001 639 970



SITE & CONTEXT ANALYSIS - CURRENT:

Neighbouring Developments - Site Axonometric



ARCHITECTURAL - GENERAL NOTES

A1 All dimensions are to be confirmed on site by the builder/subcontractor. Any inaccuracies must be reported to the Architect before commencement of any work.

A2 The Builder/subcontractor shall be held responsible for any construction details which have not been approved by the Architect.

A3 In the event of encountering any discrepancies on these drawings, specification or subsequent instructions issued, the Builder/subcontractor shall contact the Architect before proceeding further with any work.

A4 The Builder/subcontractor shall be held responsible for the accuracy of the site survey for a minimum period of two years after the date of practical completion.

A5 It is the contractor's responsibility to have all Architectural & Structural documentation, including all site instructions any details issued during the course of construction, approved by the relevant authorities.

A6 All construction, control joints and expansion joints in the wall, floors & other locations shall be in strict accordance with Architectural and/or Structural Engineering details, joints or breaks other than indicated, are allowed without written approval from the Architect and/or Engineer.

A7 Measurements for the fabrication of secondary components such as, windows, doors, internal frames, structural steel components and the like, are not to be taken from these documents. Measurements must be taken on site for the work as constructed.

A8 All structural components shall be in strict accordance to details and specifications as prepared by a structural engineer, and those details from part of the total specification.

A9 All existing structures shall be examined for structural adequacy, and it is the Contractor's responsibility to ensure that a certificate of structural adequacy is available prior to the start of any work.

A10 No construction work shall commence until a site survey has been completed. This work must be performed by a registered Surveyor.

A11 Excavation work shall be performed by the Surveyor, measured to A12 and recovery pits must be protected during construction.

A12 All timber work is to comply with the requirements of the Light Timber Framing Code S.A.A. Codes and Structural Engineer's details and specification.

A13 Copyright of all documentation and design relating to both Architectural and Structural Engineering, are reserved by the office. Written authority is required for any reproduction.

A14 All Architectural documentation to be read in conjunction with the Structural Engineer's details and specification.

A15 Compliance with the "Accession" clause of the specification.

IMPORTANT NOTE: It is the Tenderer's & Contractor's responsibility to check that all Architectural, Structural and all other job related documentation's have been received before tendering and/or construction may commence. Should there be any discrepancy in the availability of such documents the Architect should be notified before further details are needed, the tenderer and/or Contractor shall obtain such details before signing of contract documents. Failure to adhere to these conditions, the Tenderer and/or Contractor nullifies any right or claim for extras, due to interpretation of documentation, and the Architects &/or Engineer's attention shall be called out at the extra cost.

DRAWN	DATE	ISSUE	AMENDMENT
JT	28.07.2023	A	DRAFT ISSUE FOR DEVELOPMENT APPLICATION
AJ	24.11.2023	B	DRAFT ISSUE FOR DEVELOPMENT APPLICATION
AJ	12.12.2023	C	ISSUE FOR DEVELOPMENT APPLICATION

PROJECT

206-214 Lakemba Street, Lakemba NSW

SADAD

CLIENT

Greek Orthodox Community of NSW

DRAWING NAME

SITE AXO - EXISTING SITE

SCALE @ A1:
SCALE @ A3:

DRAWN: JT
CHECKER: NK

DATE: 12.12.2023

JOB NO.
--

DRAWING NO.
A004

ISSUE:
C

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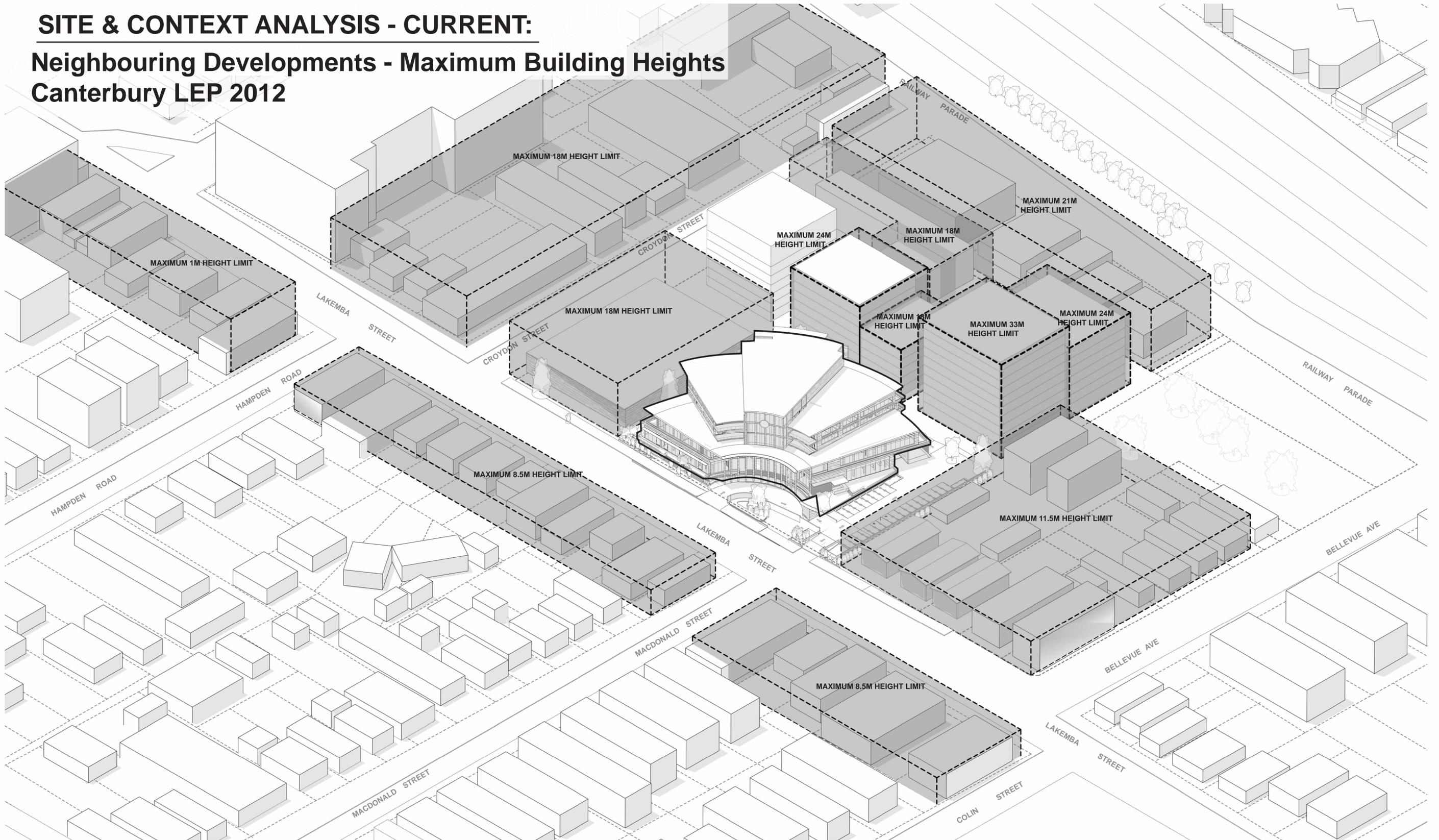
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ABN 79 001 639 970

SITE & CONTEXT ANALYSIS - CURRENT:

Neighbouring Developments - Maximum Building Heights Canterbury LEP 2012



Maximum building heights as per Canterbury LEP 2012

ARCHITECTURAL - GENERAL NOTES

A1 All dimensions are to be confirmed on site by the builder/subcontractor, any inaccuracies must be reported to the Architect before commencement of any work.

A2 The Subcontractor will be held responsible for any construction details which have not been approved by the Architect.

A3 In the event of encountering any discrepancies on these drawings, specification or subsequent instructions issued, the Subcontractor shall contact the Architect before proceeding further with any work.

A4 The Subcontractor shall be held responsible for the safety of the building for a minimum period of two years after the date of practical completion.

A5 It is the contractor's responsibility to have all Architectural & Structural documentation, including all site instructions any details issued during the course of construction, approved by the relevant authorities including the local Council & the Water Board before any work may be proceeded with.

A6 All construction, control joints and expansion joints in the wall, floor, & other locations shall be in strict accordance with Architectural and/or Structural Engineering details. Neglect or breaches other than specified, are allowed without written permission from the Architect and/or Engineer.

A7 Measurements for the fabrication of secondary components such as, windows, doors, internal frames, structural steel components and the like, are not to be taken from these documents. Measurements must be taken on site and the work as constructed.

A8 All structural components shall be in strict accordance to details and specifications as prepared by a structural engineer, and those details from part of the total specification.

A9 All existing structures need to be examined for structural adequacy, and it is the Contractor's responsibility to ensure that a certificate of structural adequacy is available prior to the start of any work.

A10 No construction work shall commence until a site survey has been completed. This work must be performed by a registered Surveyor.

A11 Foundation set-out, to be performed by the Surveyor, must be in accordance with AS12 and recovery must be provided during construction.

A12 All timber work is to comply with the requirements of the Light Timber Framing Code of Practice, AS 1684, and Structural Engineer's details and specification.

A13 Copyright of all documentation and designs relating to both Architectural and Structural Engineering, are retained by the office. Written authority is required for any reproduction.

A14 All Architectural documentation to be read in conjunction with the Structural Engineer's details and specification.

A15 Comply with the 'honourable master' clause of the specification.

IMPORTANT NOTE: It is the Tenderer's & Contractor's responsibility to check that all Architectural, Structural and all other job related documentation has been received before tendering and/or construction may commence. Should there be any doubt to the availability of such documents the Architect should be notified before further details are needed, the Tenderer and/or Contractor shall obtain such details before signing of contract documents. Failure to adhere to these conditions, the Tenderer and/or Contractor nullifies any right of claim for extras, due to interpretation of documentation, and the Architect's &/or Engineer's direction shall be carried out at the extra cost.

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PROJECT
206-214 Lakemba Street, Lakemba NSW

SADAD

CLIENT
Greek Orthodox Community of NSW

DRAWING NAME
SITE AXO - LEP HEIGHTS

SCALE @ A1:
 SCALE @ A3:

DRAWN: JT
 CHECKER: NK

DATE: 12.12.2023

JOB NO.
 --

DRAWING NO.
A005

ISSUE:
C

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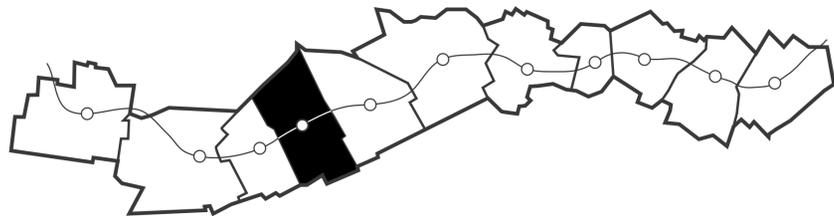
ABN 79 001 639 970



SITE & CONTEXT ANALYSIS - PROPOSED URBAN RENEWAL

SYDENHAM TO BANKSTOWN URABN RENEWAL CORRIDOR STRATEGY:

The subject site is located in the centre of Lakemba which is currently one of the 11 station precincts within the "Sydenham to Bankstown Urban Renewal Corridor Strategy" planned for redevelopment to enhance growth, infrastructure, and to renew the town centre.



LAKEMBA - PLANNED PRECINCT VISION:

Lakemba was announced as a Planned Precinct by the NSW Government as part of a housing affordability package on 1 June 2017. The vision and aims of redevelopment at Lakemba as stated by the NSW Government are as follows:

- A centre that capitalises on its vibrant shopping strip with great places to shop, eat and socialise.
- Increased housing options with pockets of modern residential development around the station.
- Retain architecture along Haldon Street's that contributes to its character and ensure that new development is complementary.
- Improved station entry and potential urban plaza providing a new public space.
- A proposed linear park along the train line could provide a new and interesting place for leisure and recreation.



SUBJECT SITE AT
206 - 210 LAKEMBA
STREET, LAKEMBA

LAKEMBA TRAIN
STATION

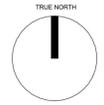
LAKEMBA

ARCHITECTURAL - GENERAL NOTES

A1 All dimensions are to be confirmed on site by the builder/subcontractor, any incongruities must be reported to the Architect before commencement of any work.
A2 The Subcontractor shall be held responsible for any construction details which have not been approved by the Architect.
A3 In the event of encountering any discrepancies on these drawings, specification or subsequent instructions issued, the Builder/Subcontractor shall contact the Architect before proceeding further with any work.
A4 The Subcontractor shall be held responsible for the establishment of the whole building for a minimum period of two years after the date of practical completion.
A5 It is the contractor's responsibility to have all Architectural & Structural documentation, including all site instructions any any details issued during the course of construction, approved by the relevant authorities including the local Council & the Water Board before any work may be proceeded with.
A6 All construction, control joints and expansion joints in the wall, floors, & other locations shall be in strict accordance with Architectural and/or Structural Engineering details. Neglects or breaks other than specified, are allowed without written permission from the Architect and/or Engineer.
A7 Measurements for the fabrication of secondary components such as, windows, doors, internal frames, structural steel components and the like, are not to be taken from these documents. Measurements must be taken on site and the work is completed.
A8 All structural components shall be in strict accordance to details and specifications as prepared by a structural engineer, and those details from part of the total specification.
A9 All existing structures need to be examined for structural adequacy, and it is the Contractor's responsibility to ensure that a certificate of structural adequacy is available prior to the start of any work.
A10 No construction work shall commence until a site survey has been completed. This work must be performed by a registered Surveyor.
A11 Foundation set-out, to be performed by the Surveyor mentioned in A12 and recovery pegs must be protected during construction.
A12 All tender work is to comply with the requirements of the Light Timber Framing Code of Practice, S.A.A. Code and Structural Engineer's details and specification.
A13 Copyright of all documentation and designs relating to both Architectural and Structural Engineering, are retained by this office. Written authority is required for any reproduction.
A14 All Architectural documentation to be read in conjunction with the Structural Engineer's details and specification.
A15 Comply with the "honesty matters" clause of the specification.
IMPORTANT NOTE: It is the Tenderer's & Contractor's responsibility to check that all Architectural, Structural and all other job related documentation's have been received before tendering and/or construction may commence. Should there be any doubts to the availability of such documents the Architect should be notified before further details be needed, the Tenderer and/or Contractor shall obtain such details before signing of contract documents. Failure to adhere to these conditions, the Tenderer and/or Contractor nullifies any right or claim for extras, due to interpretation of documentation, and the Architect's &/or Engineer's direction shall be carried out at the extra cost.

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AJ	12.12.2023	C	ISSUE FOR DEVELOPMENT APPLICATION

PROJECT
206-214 Lakemba Street, Lakemba NSW
 SADAD
 CLIENT
Greek Orthodox Community of NSW

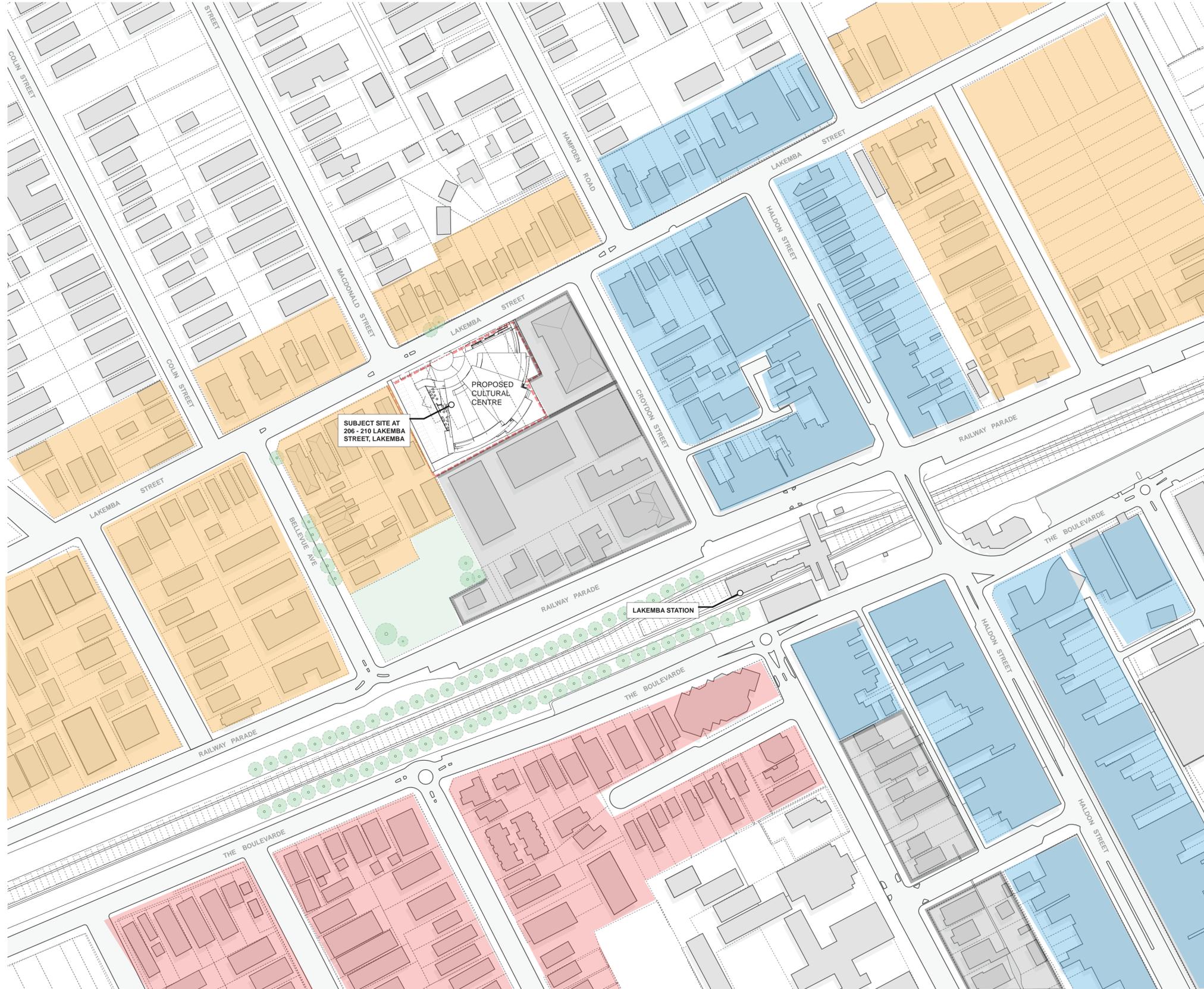


DRAWING NAME
PROPOSED URBAN RENEWAL PRECINCT
 SCALE @ A1:
 SCALE @ A3:
 DRAWN: JT
 CHECKER: NK
 DATE: 12.12.2023
 JOB NO.
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 DRAWING NO.
A006
 ISSUE:
C

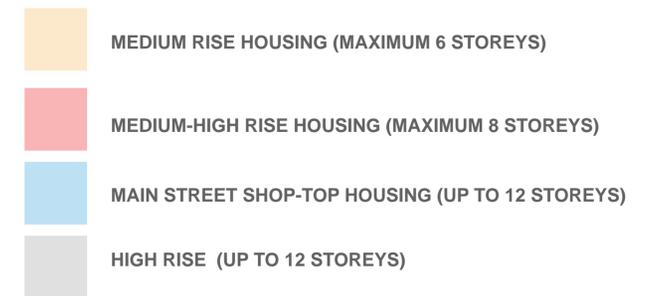
Katris Architects Pty Ltd
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SITE & CONTEXT ANALYSIS - PROPOSED URBAN RENEWAL



LAKEMBA PRECINCT - PROPOSED LAND USES & ZONE:



SCALE 1:1000

ARCHITECTURAL - GENERAL NOTES

A1 All dimensions are to be confirmed on site by the builder/subcontractor, any discrepancies must be reported to the Architect before commencement of any work.

A2 The Subcontractor will be held responsible for any construction details which have not been approved by the Architect.

A3 In the event of encountering any discrepancies on these drawings, specification or subsequent instructions issued, the Builder/Subcontractor shall contact the Architect before proceeding further with any work.

A4 The Builder/Subcontractor will be held responsible for the maintenance of the whole building for a minimum period of two years after the date of practical completion.

A5 It is the contractor's responsibility to have all Architectural & Structural documentation, including all site instructions any details issued during the course of construction, approved by the relevant authorities including the Local Council & the Water Board before any work may be proceeded with.

A6 All construction, control joints and expansion joints in the wall, floor, & other locations shall be in strict accordance with Architectural and/or Structural Engineering details. Negatives or breaks other than specified, are allowed without written permission from the Architect and/or Engineer.

A7 Measurements for the fabrication of secondary components such as, windows, doors, internal frames, structural steel components and the like, are not to be taken from these documents. Measurements must be taken on site and used as constructed.

A8 All structural components shall be in strict accordance to details and specifications as prepared by a structural engineer, and those details from part of the total specification.

A9 All existing structures need to be examined for structural adequacy, and it is the Contractor's responsibility to ensure that a certificate of structural adequacy is available prior to the start of any work.

A10 No construction work shall commence until a site survey has been completed. This work must be performed by a registered Surveyor.

A11 Foundation set-out, to be performed by the Surveyor in accordance with A10 and approved during construction.

A12 All interior work is to comply with the requirements of the Light Timber Framing Code of Practice, A.S. Code and Structural Engineer's details and specification.

A13 Copyright of all documentation and drawings relating to both Architectural and Structural Engineering, are retained by this office. Written authority is required for any reproduction.

A14 All Architectural documentation to be read in conjunction with the Structural Engineer's details and specification.

A15 Comply with the 'hazardous materials' clause of the specification.

IMPORTANT NOTE: It is the Tenderer's & Contractor's responsibility to check that all Architectural, Structural and all other job related documentation has been received before tendering and/or construction may commence. Should there be any doubts to the availability of such documents the Architect should be notified before further details are needed, the tenderer and/or Contractor shall obtain such details before signing of contract documents. Failure to adhere to these conditions, the Tenderer and/or Contractor nullifies any right or claim for extras, due to interpretation of documentation, and the Architect's/Bor Engineer's direction shall be carried out at the contractor's cost.

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AJ	12.12.2023	C	ISSUE FOR DEVELOPMENT APPLICATION

PROJECT
206-214 Lakemba Street, Lakemba NSW

SADAD

CLIENT
Greek Orthodox Community of NSW

DRAWING NAME
LAKEMBA PLANNED PRECINCT - LAND USES & ZONING

SCALE @ A1:
 SCALE @ A3:

DRAWN: JT
 CHECKER: NK
 DATE: 12.12.2023

JOB NO.
 --

DRAWING NO.
A007

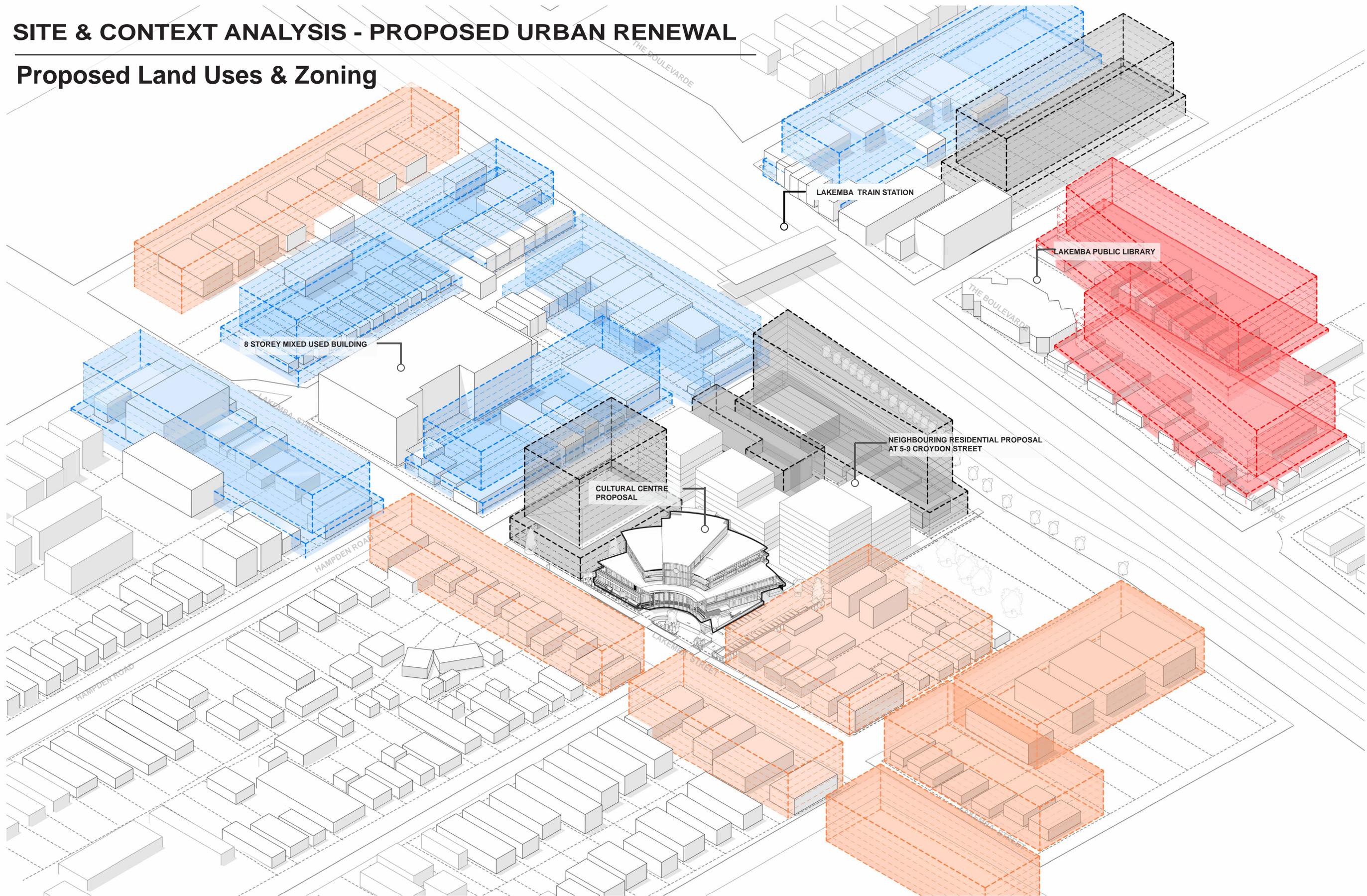
ISSUE:
C

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SITE & CONTEXT ANALYSIS - PROPOSED URBAN RENEWAL

Proposed Land Uses & Zoning



ARCHITECTURAL - GENERAL NOTES

A1 All dimensions are to be confirmed on site by the builder/subcontractor, any incongruities must be reported to the Architect before commencement of any work.

A2 The Subcontractor will be held responsible for any construction details which have not been approved by the Architect.

A3 In the event of encountering any discrepancies on these drawings, specification or subsequent instructions issued, the Builder/subcontractor shall contact the Architect before proceeding further with any work.

A4 The Subcontractor will be held responsible for the establishment of the whole building for a minimum period of two years after the date of practical completion.

A5 It is the contractor's responsibility to have all Architectural & Structural documentation, including all site instructions any any details issued during the course of construction, approved by the relevant authorities including the Council & the Water Board before any work may proceed with.

A6 All construction, control joints and expansion joints in the wall, floor, & other locations shall be in strict accordance with Architectural and/or Structural Engineering details. Neglect or breaches other than specified, are allowed without written permission from the Architect and/or Engineer.

A7 Measurements for the fabrication of secondary components such as, windows, doors, internal frames, structural steel components and the like, are not to be taken from these documents. Measurements must be taken on site and the work as constructed.

A8 All structural components shall be in strict accordance to details and specifications as prepared by a structural engineer, and those details from part of the total specification.

A9 All existing structures need to be measured for structural adequacy, and it is the Contractor's responsibility to ensure that a certificate of structural adequacy is available prior to the start of any work.

A10 No construction work shall commence until a site survey has been completed. This work must be performed by a registered Surveyor.

A11 Foundation set-out, to be performed by the Surveyor, measured in AS2 and recovery pegs must be provided during construction.

A12 All timber work to comply with the requirements of the Light Timber Framing Code of A.S.A. Codes and Structural Engineer's details and specification.

A13 Copyright of all documentation and designs relating to both Architectural and Structural Engineering, are retained to the office. Written authority is required for any reproduction.

A14 All Architectural documentation to be read in conjunction with the Structural Engineer's details and specification.

A15 Comply with the "hazardous materials" clause of the specification.

IMPORTANT NOTE: It is the Tenderer's & Contractor's responsibility to check that all Architectural, Structural and all other job related documentation have been received before tendering and/or construction may commence. Should there be any doubts to the availability of such documents the Architect should be notified before further details are needed, the tenderer and/or Contractor shall obtain such details before signing of contract documents. Failure to adhere to these conditions, the Tenderer and/or Contractor nullifies any right or claim for extras, due to interpretation of documentation, and the Architect's &/or Engineer's direction shall be carried out at no extra cost.

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PROJECT
206-214 Lakemba Street, Lakemba NSW

SADAD

CLIENT
Greek Orthodox Community of NSW

DRAWING NAME
SITE AXO - PROPOSED LAND USES/ZONES

SCALE @ A1:
 SCALE @ A3:

DRAWN: JT
 CHECKER: NK
 DATE: 12.12.2023

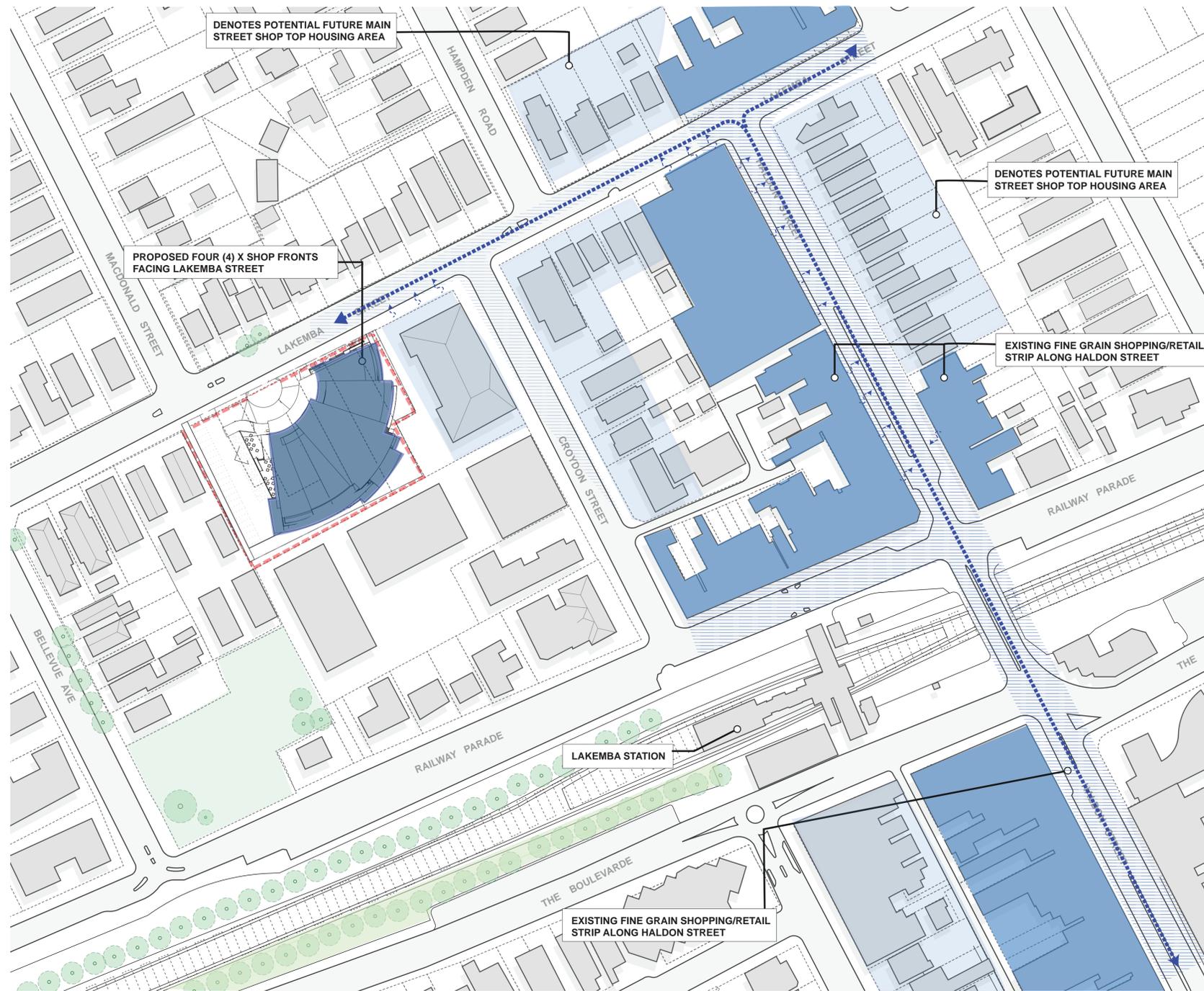
JOB NO.

DRAWING NO.
A008

ISSUE:
C

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PROPOSAL - PROPOSED SITE INTERACTION



A. CONTINUATION OF SHOP FRONTS TO CONNECT TO MAIN SHOP STREETS ALONG LAKEMBA STREET, CROYDON STREET TO INTERSECT WITH HALDON STREET

THE PROPOSED GREEK ORTHODOX COMMUNITY CENTRE PROVIDES ADDITIONAL RETAIL/SHOP FRONTS FACING ALONG LAKEMBA STREET WHICH PROVIDES ENHANCES THE STREET ACTIVATION ALONG LAKEMBA STREET TO INTERSECT WITH THE EXISTING MAIN SHOP FRONT STREET, HALDON STREET

- PROPOSED GREEK ORTHODOX COMMUNITY CENTRE - SHOP FRONT AND RETAIL
- EXISTING FINE GRAIN SHOPPING/RETAIL STRIP
- POTENTIAL FUTURE SHOP TOP HOUSING AS PER "LAKEMBA PLANNED PRECINCT STRATEGY"
- EXISTING STREET ACTIVATION - SHOP FRONTS
- POTENTIAL FUTURE STREET ACTIVATION - SHOP FRONTS

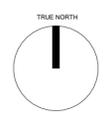
1:1000 @ A1
1:2000 @ A3

ARCHITECTURAL - GENERAL NOTES
 A1 All dimensions are to be confirmed on site by the holder/subcontractor, any inaccuracies must be reported to the Architect before commencement of any work.
 A2 The Subcontractor will be held responsible for any construction details which have not been approved by the Architect.
 A3 In the event of encountering any discrepancies on these drawings, specification or subsequent instructions issued, the Builder/Subcontractor shall contact the Architect before proceeding further with any work.
 A4 The Subcontractor will be held responsible for the interpretation of the drawings and specifications for a minimum period of two years after the date of practical completion.
 A5 It is the contractor's responsibility to have all Architectural & Structural documentation, including all site instructions any any details issued during the course of construction, approved by the relevant authorities including the local Council & the Water Board before any work commences.
 A6 All construction, control joints and expansion joints in the wall, floors, & other locations shall be in strict accordance with Architectural and/or Structural Engineering details. Neglect or breaches other than specified, are allowed without further permission from the Architect and/or Engineer.
 A7 Measurements for the fabrication of secondary components such as, windows, doors, internal frames, structural steel components and the like, are not to be taken from these documents. Measurements must be taken on site to not exceed an error of 1mm.
 A8 All structural components shall be in strict accordance to details and specifications as prepared by a structural engineer, and those details from part of the total specification.
 A9 All existing structures need to be examined by structural adequacy, and it is the Contractor's responsibility to ensure that a certificate of structural adequacy is available prior to the start of any work.
 A10 No construction work shall commence until a site survey has been completed. This work must be performed by a registered Surveyor.
 A11 Foundation set out, to be performed by the Surveyor, measured in A3 and recovery pegs must be protected during construction.
 A12 All timber work is to comply with the requirements of the Light Timber Framing Code of Practice, S.A. Cobos and Structural Engineer's details and specification.
 A13 Copyright of all documentation and designs relating to both Architectural and Structural Engineering, are retained by the office. Written authority is required for any reproduction.
 A14 All Architectural documentation to be read in conjunction with the Structural Engineer's details and specification.
 A15 Comply with the "honesty mark" clause of the specification.
IMPORTANT NOTE: It is the Tenderer's & Contractor's responsibility to check that all Architectural, Structural and all other job related documentation's have been received before tendering and/or construction may commence. Should there be any doubt to the availability of such documents the Architect should be notified before further details be needed, the tenderer and/or Contractor shall obtain such details before signing of contract documents. Failure to adhere to these conditions, the Tenderer and/or Contractor nullifies any right or claim for extras, due to interpretation of documentation, and the Architect's &/or Engineer's direction shall be carried out at the extra cost.

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PROJECT
206-214 Lakemba Street, Lakemba NSW
 SADDAD
 CLIENT
Greek Orthodox Community of NSW

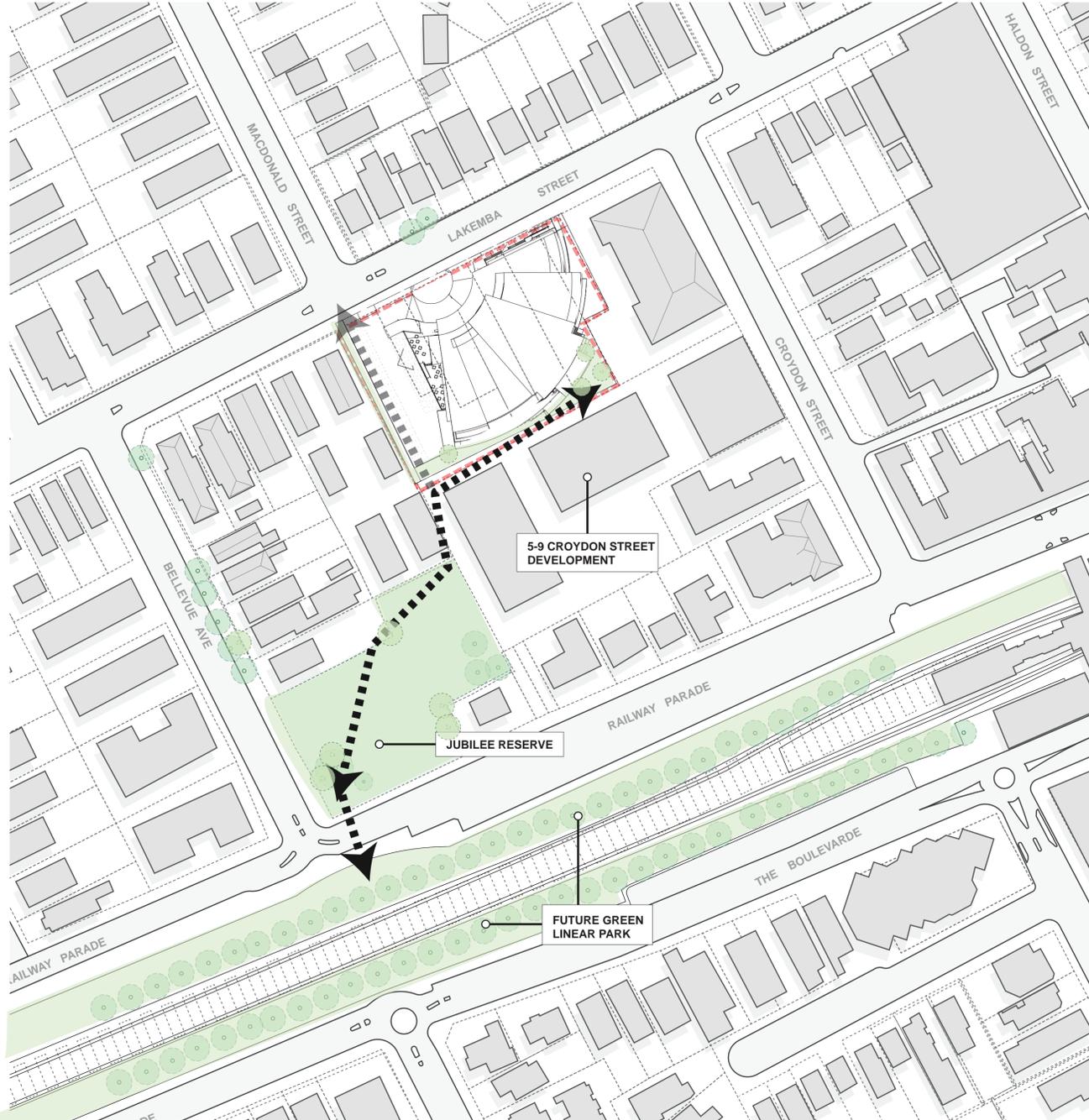
DRAWING NAME		
PROPOSAL - PROPOSED SITE INTERACTION		
SCALE @ A1:	DRAWN: JT	DATE: 12.12.2023
SCALE @ A3:	CHECKER: NK	
JOB NO.	DRAWING NO.	ISSUE:
--	A009	C



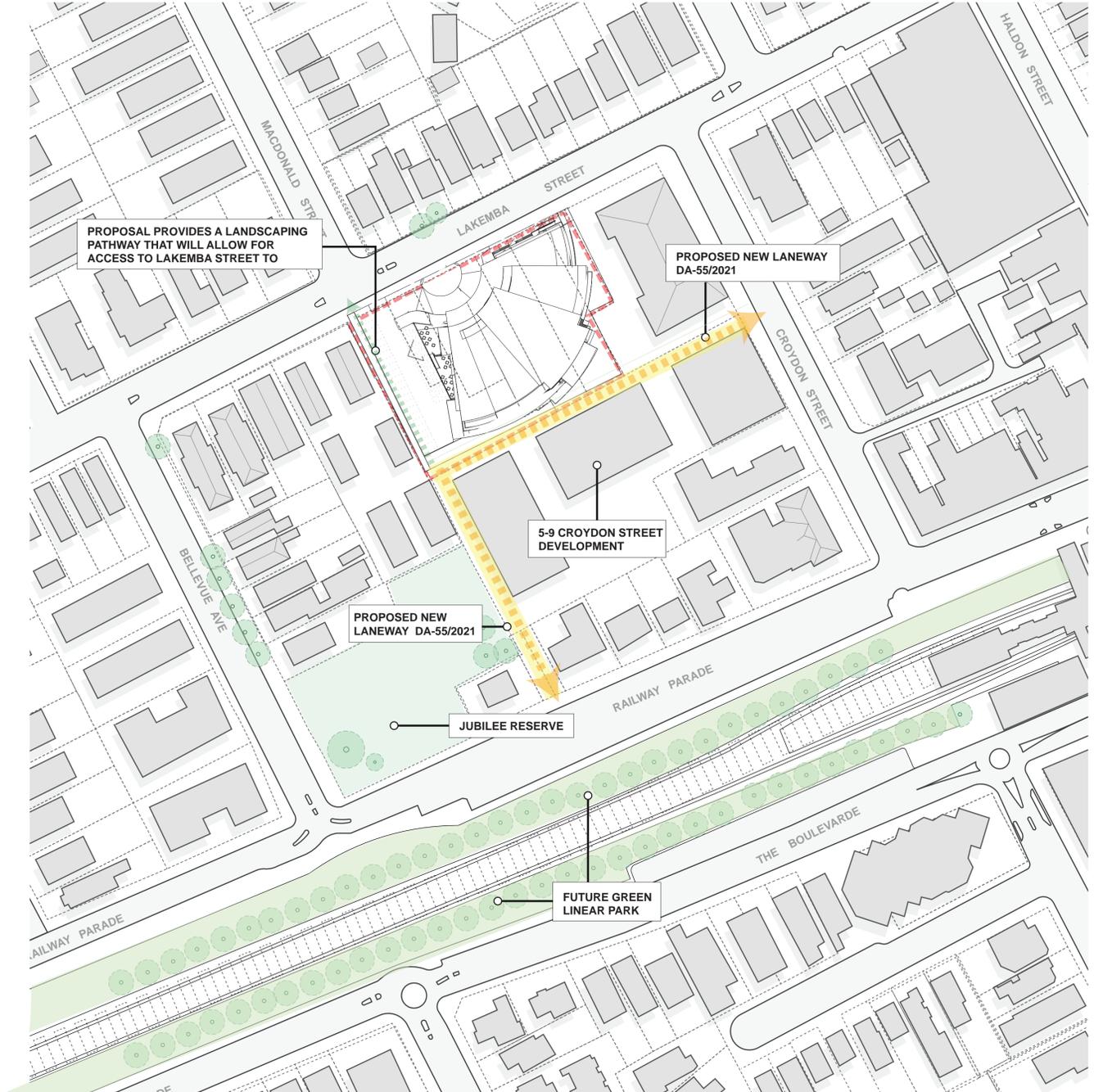
Katris Architects Pty Ltd
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 ABN 79 001 639 970



PROPOSAL - PROPOSED SITE INTERACTION



1:1000 @ A1
1:2000 @ A3



1:1000 @ A1
1:2000 @ A3

ARCHITECTURAL - GENERAL NOTES
 A1 All dimensions are to be confirmed on site by the builder/subcontractor, any incongruities must be reported to the Architect before commencement of any work.
 A2 The Subcontractor will be held responsible for any construction details which have not been approved by the Architect.
 A3 In the event of encountering any discrepancies on these drawings, specification or subsequent instructions issued, the Builder/subcontractor shall contact the Architect before proceeding further with any work.
 A4 The Subcontractor shall be held responsible for the retention period of the building for a minimum period of two years after the date of practical completion.
 A5 It is the contractor's responsibility to have all Architectural & Structural documentation, including all site instructions any details issued during the course of construction, approved by the relevant authorities including the Local Council & the Water Board before any work may be proceeded with.
 A6 All construction, control joints and expansion joints in the wall, floor, & other locations shall be in strict accordance with Architectural and/or Structural Engineering details. Neglects or breaks other than specified, are allowed without written permission from the Architect and/or Engineer.
 A7 Measurements for the fabrication of secondary components such as, windows, doors, internal frames, structural steel components and the like, are not to be taken from these documents. Measurements must be taken on site and the Architect must be notified.
 A8 All structural components shall be in strict accordance to details and specifications as prepared by a structural engineer, and those details from part of the final specification.
 A9 All existing structures need to be examined for structural adequacy, and it is the Contractor's responsibility to ensure that a certificate of structural adequacy is available prior to the start of any work.
 A10 No construction work shall commence until a site survey has been completed. This work must be performed by a registered Surveyor.
 A11 Foundation set-out, to be performed by the Surveyor, must be in strict accordance with the Architect's and Structural Engineer's details and specifications.
 A12 All other work is to comply with the requirements of the Light Timber Framing Code of A.A. Codes and Structural Engineer's details and specifications.
 A13 Copyright of all documentation and drawings relating to both Architectural and Structural Engineering, are retained by this office. Written authority is required for any reproduction.
 A14 All Architectural documentation to be read in conjunction with the Structural Engineer's details and specifications.
 A15 Comply with the 'hazardous material' clause in the specification.
IMPORTANT NOTE: It is the Tenderer's & Contractor's responsibility to check that all Architectural, Structural and all other job related documentation has been received before tendering and/or construction may commence. Should there be any doubt to the availability of such documents the Architect should be notified before further details are needed, the Tenderer and/or Contractor shall obtain such details before signing of contract documents. Failure to adhere to these conditions, the Tenderer and/or Contractor nullifies any right or claim for extras, due to interpretation of documentation, and the Architect's & Engineer's direction shall be carried out at no extra cost.

DRAWN	DATE	ISSUE	AMENDMENT
JT	28.07.2023	A	DRAFT ISSUE FOR DEVELOPMENT APPLICATION
AJ	24.11.2023	B	DRAFT ISSUE FOR DEVELOPMENT APPLICATION
AJ	12.12.2023	C	ISSUE FOR DEVELOPMENT APPLICATION

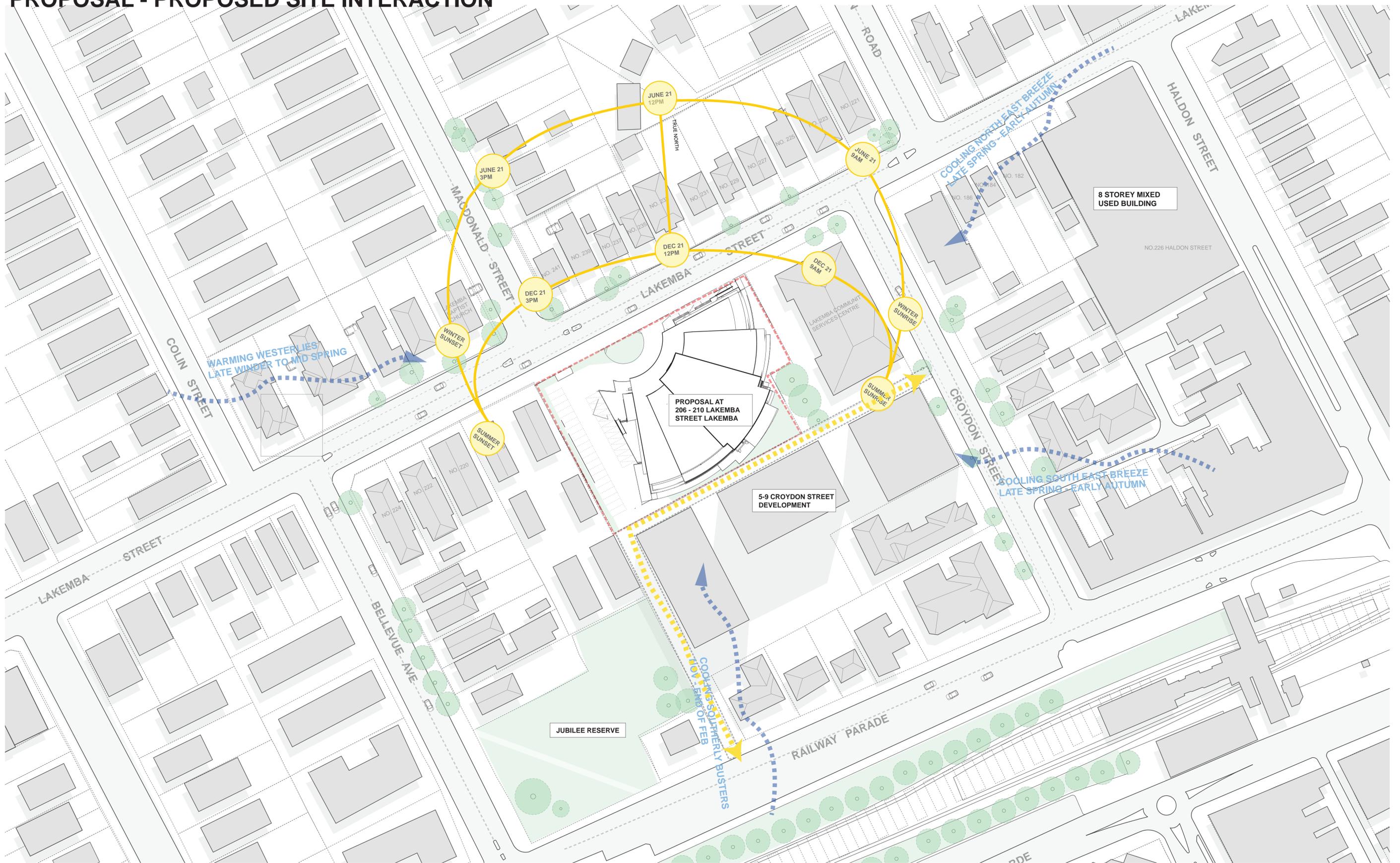
PROJECT
206-214 Lakemba Street, Lakemba NSW
 SADAD
 CLIENT
Greek Orthodox Community of NSW

DRAWING NAME
NEW PEDESTRIAN LANEWAYS & GREEN SPACES
 SCALE @ A1:
 SCALE @ A3:
 DRAWN: JT
 CHECKER: NK
 DATE: 12.12.2023
 JOB NO.
 --
 DRAWING NO.
A010
 ISSUE:
C

Katris Architects Pty Ltd
 Nominated Architects: Chris Katris (Reg 9724), Nick Katris (Reg 3878), Peter Katris (Reg 4569)
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 PO Box 703 Burwood 1805 NSW Australia
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 www.katris.com.au
 ABN 79 001 639 970



PROPOSAL - PROPOSED SITE INTERACTION



ARCHITECTURAL - GENERAL NOTES

A1 All dimensions are to be confirmed on site by the builder/contractor, any incongruities must be reported to the Architect before commencement of any work.

A2 The Builder/contractor will be held responsible for any construction details which have not been approved by the Architect.

A3 In the event of encountering any discrepancies on these drawings, specifications or subsequent instructions issued, the Builder/contractor shall contact the Architect before proceeding further with any work.

A4 The Builder/contractor will be held responsible for the waterproofing of the whole building for a minimum period of two years after the date of practical completion.

A5 It is the contractor's responsibility to have all Architectural & Structural documentation, including all site instructions and any details issued during the course of construction, approved by the relevant authorities including the local Council & the Water Board before any work may be proceeded with.

A6 All construction, control joints and separation joints shall be in strict accordance with Architectural and/or Structural Engineering details. Nipples or breaks other than specified, are allowed without written permission from the Architect and/or Engineer.

A7 Measurements for the fabrication of secondary components such as, windows, doors, internal frames, structural steel components and the like, are not to be taken from these documents. Measurements must be taken on site to suit the work as constructed.

A8 All existing structures must be examined for structural adequacy, and it is the Contractor's responsibility to ensure that a certificate of structural adequacy is available prior to the start of any work.

A9 No construction work shall commence until a site survey has been completed. This work must be performed by a Registered Surveyor.

A10 Foundation set out, as is permitted by the Surveyor's instrument & ATC and the Engineer's approval must be followed during construction.

A11 All interim work is to comply with the requirements of the Light Timber Framing Code S.A.A. Codes and Structural Engineer's details and specification.

A12 Copyrights of all documents and designs relating to both Architectural and Structural Engineering, are related by the Architect. Written authority is required for any reproduction.

A13 All Architectural documentation to be read in conjunction with the Structural Engineer's details and specification.

A14 Compliance with the 'deception material' clause of the specification.

IMPORTANT NOTE: It is the Tenderer's & Contractor's responsibility to check that all Architectural, Structural and all other job related documentation have been received before tendering and/or construction may commence. Should there be any doubt in the availability of such documents the Architect should be notified before further details are needed, the Tenderer and/or Contractor shall advise their details before signing of contract documents. Failure to adhere to these conditions, the Tenderer and/or Contractor nullifies any right or claim for extras, due to interpretation of documentation, and the Architect's &/or Engineer's direction shall be carried out at no extra cost.

DRAWN	DATE	ISSUE	AMENDMENT
JT	28.07.2023	A	DRAFT ISSUE FOR DEVELOPMENT APPLICATION
AJ	24.11.2023	B	DRAFT ISSUE FOR DEVELOPMENT APPLICATION
AJ	12.12.2023	C	ISSUE FOR DEVELOPMENT APPLICATION

PROJECT

206-214 Lakemba Street, Lakemba NSW

SADAD

CLIENT

Greek Orthodox Community of NSW

DRAWING NAME

PROPOSED SITE PLAN

SCALE @ A1:
SCALE @ A3:

DRAWN: JT
CHECKER: NK
DATE: 12.12.2023

JOB NO:

DRAWING NO:
A011

ISSUE:
C

Katris Architects Pty Ltd

Nominated Architects: Chris Katris (Reg 9724), Nick Katris (Reg 3878), Peter Katris (Reg 4569)

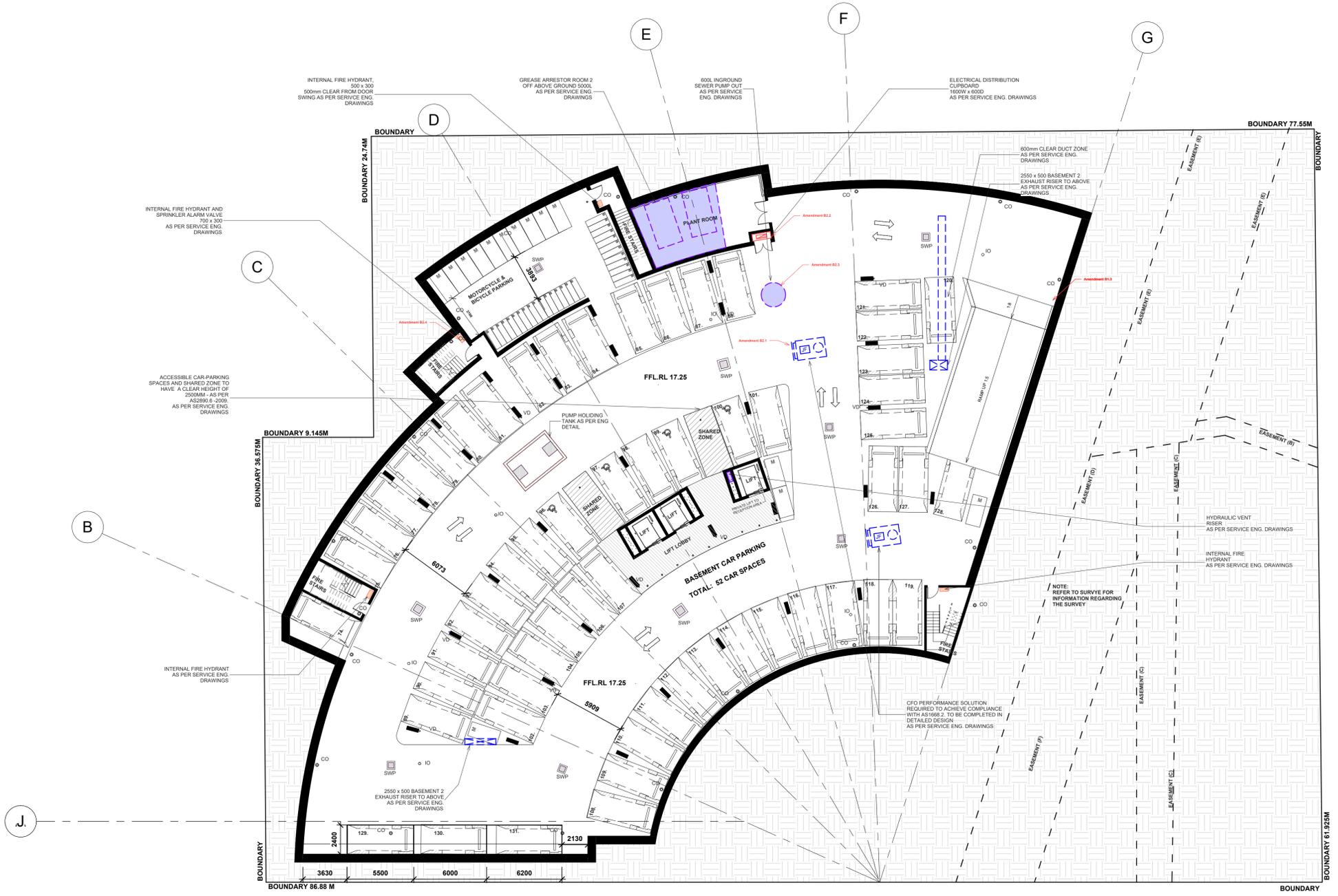
Level 1, Suite 2, 28-30 Burwood Road, Burwood NSW 2134

PO Box 703 Burwood 1805 NSW Australia

P 02 9744 5421 F 02 9747 5046

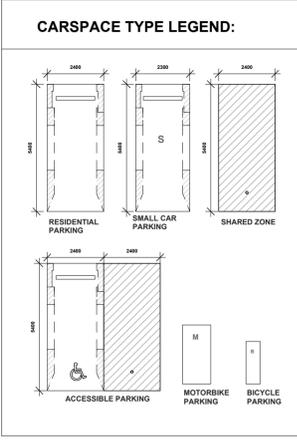
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ABN 79 001 639 970





ABBREVIATIONS

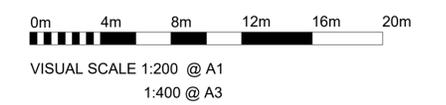
- = DENOTES HARD WIRED SMOKE ALARMS SMOKE ALARMS WILL BE INSTALLED IN ACCORDANCE WITH THE NCC 2019 VOL 1 AND AS 3786-2014.
- = DENOTES FLOOR WASTES AS PER NCC 2019 VOL 1 DRAINAGE FLANGES/PODLE FLANGES MUST BE INSTALLED TO ALL FLOOR WASTES DURING THE WATERPROOFING STAGES. REFER TO ARCH SPEC AND MANUFACTURERS RECS. REFER TO TYPICAL INDOOR AND OUTDOOR WATERPROOFING DETAIL.
- NG. RL. 00** = DENOTES NEW PROPOSED NATURAL GROUND LEVEL
- FFL. RL. 00** = DENOTES FINISH FLOOR LEVEL
- = DENOTES DOWN PIPES TO STORMWATER AND HYDRAULIC ENGS DETAILS
- = DENOTES WHEEL STOP TO AS2995.1
- BO** = BOLLARD AS PER AS2890.6 AND BCA 2019 AND T 1 VOL 1
- VO** = OVERFLOW TO STORMWATER AND HYDRAULIC ENGS DETAILS
- = VERT. DROP AS PER ENGS DETAILS
- = INSPECTION OPENING AS PER ENGS DETAILS
- = CLEANING EYE (OR INSPECTION EYE) AS PER ENGS DETAILS
- PG** = PLANTER GRATE AS PER ENGS DETAILS
- = STORMWATER PIT AS PER ENGS DETAILS
- RWO** = DENOTES RAIN-WATER OUTLET TO STORMWATER ENGS DETAILS
- TGSI** = DENOTES TACTILE GROUND SURFACE INDICATOR. TACTILE GROUND SURFACE INDICATORS (TGSI) ARE TO BE PROVIDED TO:
- ALL RAMPS AND STAIRS
- ALL OVERHEAD OBSTRUCTIONS -2M ABOVE FLOOR LEVEL
TGSI ARE TO BE PROVIDED IN ACCORDANCE WITH AS1428.4.1 & 2
- FG**
 = DENOTES FLOOR GRATE (MIN. 1% FALL TO FLOOR GRATE) TO STORMWATER AND HYDRAULIC ENGS DETAILS.
- = DENOTES TREES TO BE REMOVED



LAKEMBA STREET

1 00 Basement Level 2
D014 1: 200

NOTE:
SERVICES DRAWINGS WILL HAVE TO BE FURTHER AMENDED TO SUITE THE ARCHITECTURALS. HOWEVER THERE IS NO IMPACT ON THE SERVICE DRAWINGS DUE TO THE CHANGES IN THE ARCHITECTURALS BECAUSE THE SERVICES ESSENTIALLY REMAIN THE SAME. MINOR CHANGES HAVE OCCURED WITH THE LOCATION OF THE SUBSTATION



ARCHITECTURAL - GENERAL NOTES

A1 All dimensions are to be confirmed on site by the builder/subcontractor, any incongruities must be reported to the Architect before commencement of any work.

A2 The Subcontractor shall be held responsible for any construction details which have not been approved by the Architect.

A3 In the event of encountering any discrepancies on these drawings, specification or subsequent instructions issued, the Builder/Subcontractor shall contact the Architect before proceeding further with any work.

A4 The Subcontractor shall be held responsible for the maintenance of the whole building for a minimum period of two years after the date of practical completion.

A5 It is the contractor's responsibility to have all Architectural & Structural documentation, including all site instructions any any details issued during the course of construction, approved by the relevant authorities including the Local Council & the Water Board before any work may proceed with.

A6 All construction, control joints and expansion joints in the wall, floor, & other locations shall be in strict accordance with Architectural and/or Structural Engineering details. Neglects or breaches other than specified, are allowed without written permission from the Architect and/or Engineer.

A7 Measurements for the fabrication of secondary components such as, windows, doors, internal frames, structural steel components and the like, are not to be taken from these documents. Measurements must be taken on site and not from the drawings.

A8 All structural components shall be in strict accordance to details and specifications as prepared by a structural engineer, and those details from part of the total specification.

A9 All existing structures need to be examined for structural adequacy, and it is the Contractor's responsibility to ensure that a certificate of structural adequacy is available prior to the start of any work.

A10 No construction work shall commence until a site survey has been completed. This work must be performed by a registered Surveyor.

A11 Foundation set-out, to be performed by the Surveyor mentioned in A10 and recovery pegs must be protected during construction.

A12 All timber work to comply with the requirements of the Light Timber Framing Code of Practice, AS 1684.2, and the Structural Engineer's details and specifications.

A13 Copyright of all documentation and designs relating to both Architectural and Structural Engineering, are retained by this office. Written authority is required for any reproduction.

A14 All Architectural documentation to be read in conjunction with the Structural Engineer's details and specifications.

A15 Comply with the 'hazardous materials' clause of the specification.

IMPORTANT NOTE: It is the Tenderer's & Contractor's responsibility to check that all Architectural, Structural and all other job related documentation has been received before tendering and/or construction may commence. Should there be any doubt to the availability of such documents to the Architect should be notified before further details be needed, the tenderer and/or Contractor shall obtain such details before signing of contract documents. Failure to adhere to these conditions, the Tenderer and/or Contractor nullifies any right or claim for extras, due to interpretation of documentation, and the Architect's &/or Engineer's direction shall be carried out at the tenderer's cost.

DRAWN	DATE	ISSUE	AMENDMENT
NB	11.06.2024	A	RESPONSE TO COUNCIL RFI

PROJECT
206-214 Lakemba Street, Lakemba NSW

SADAD

CLIENT
Greek Orthodox Community of NSW

DRAWING NAME
PROPOSED BASEMENT PLAN LEVEL 2

SCALE @ A1: As indicated
SCALE @ A3:

DRAWN: Author
CHECKER: Checker
DATE: 15.07.2024

JOB NO. ---
DRAWING NO. D014
ISSUE: D

Katris Architects Pty Ltd
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ABN 79 001 639 970



DA-55/2021
5-7, 7A & 9 Croydon Street, Lakemba
"BUILDING A" - 8 STOREY RESIDENTIAL BUILDING

DA-55/2021
5-7, 7A & 9 Croydon Street, Lakemba
"BUILDING B" - 7 STOREY RESIDENTIAL BUILDING

DA-55/2021
5-7, 7A & 9 Croydon Street, Lakemba
"BUILDING C" - 10 STOREY RESIDENTIAL BUILDING



1 Level 2
D018 1:200

AREAS LEGEND:

- DENOTES PROPOSED **COMMERCIAL/RETAIL AREA**
- DENOTES PROPOSED **POKER/GAMES ROOM AREA**
- DENOTES PROPOSED **ART & CULTURAL EXHIBITION & SALES AREA**
- DENOTES PROPOSED **OFFICE/MEETING ROOM AREA**
- DENOTES PROPOSED **KITCHEN & BAR AREAS**
- DENOTES PROPOSED **THEATRE/FUNCTION AREA**
- DENOTES PROPOSED **TOILET/WET AREA**
- DENOTES PROPOSED **MEMBER'S LOUNGE AREA**
- DENOTES PROPOSED **KID'S PLAY AREA**
- DENOTES PROPOSED **RESTAURANT AREA**

SCHEDULE OF AREAS (LETTABLE):

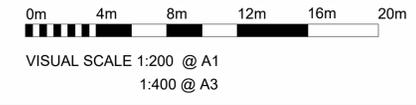
- GROUND FLOOR:**
- COMMERCIAL/SHOPS (LETTABLE AREA):**
 - Shop 1 = 125 m²
 - Shop 2 = 88 m²
 - Shop 3 = 66 m²
 - Shop 4 = 38 m²
 - Total Commercial/Shop area = 317 m²
 - THEATRE (LETTABLE AREA):**
 - Divisible Theatre Area 1 = 250 m²
 - Divisible Theatre Area 2 = 259 m²
 - Theatre Dressing Room Areas = 63m²
 - Total Theatre Area = 572m²
 - BAR (LETTABLE AREA) = 23 m²**
 - KITCHEN (LETTABLE AREA) = 42 + 13 + 6 = 61 m²**
 - TOTAL LETTABLE AREA ON GROUND FLOOR = 973. m²**
- LEVEL 1:**
- FUNCTION (LETTABLE AREA):**
 - Divisible Function Area 1 = 266 m²
 - Divisible Function Area 2 = 271 m²
 - Divisible Function Area 3 = 102 m²
 - Theatre Dressing Room Areas = 72 m²
 - Total Function Area (Lettable) = 711 m²
 - POKER MACHINE & GAMES ROOM (LETTABLE AREA) = 145 m²**
 - BAR (LETTABLE AREA) = 63 m²**
 - KITCHEN (LETTABLE AREA) = 74 + 36 = 110 m²**
 - KIDS PLAY AREA (LETTABLE AREA) = 114m²**
 - TOTAL LETTABLE AREA ON LEVEL 1 = 1143m²**
- LEVEL 2:**
- GREEK ORTHODOX COMMUNITY USE ONLY:**
- TOTAL OFFICE SPACES = 36 + 8 + 20 + 18 + 15 = 97 m²**
 - MEETING ROOM = 63 + 169 + 61 + 91 + 52 + 52 = 488m²**
 - BOARD ROOM = 45m²**
 - PRESIDENT ROOM = 28 m²**
- LEVEL 3:**
- RESTAURANT (LETTABLE AREA) = 412 m²**
 - KITCHEN = 52m²**
 - TOTAL OFFICE AREAS (LETTABLE AREA) = 285 m²**
 - TOTAL MEETING ROOM AREAS (LETTABLE AREA) = 110m²**
 - TOTAL LETTABLE AREA ON LEVEL 3 = 859 m²**
- LEVEL 4:**
- RECEPTION LOUNGE:**
- RECEPTION AREA = 462m²
 - STORAGE ROOM = 27 m²
 - TOILETS = 22 + 18 + 7 = 37m²
 - KITCHEN = 53m²
- INFORMAL LOUNGE/ SITTING AREA = 68m²**

TOTAL LETTABLE AREAS ON LEVEL 4 = 647m²

TOTAL LETTABLE AREA PER FLOOR:

 - GROUND FLOOR LETTABLE AREA = 973 m²
 - LEVEL 1 LETTABLE AREA = 1143m²
 - LEVEL 3 LETTABLE AREA = 859m²
 - LEVEL 4 LETTABLE AREA = 647m²
 - TOTAL LETTABLE AREA = 3622 m² (50.2% OF GFA)**
 - TOTAL GROSS FLOOR AREA = 7202.1**

NOTE: SERVICES DRAWINGS WILL HAVE TO BE FURTHER AMENDED TO SUITE THE ARCHITECTURALS. HOWEVER THERE IS NO IMPACT ON THE SERVICE DRAWINGS DUE TO THE CHANGES IN THE ARCHITECTURALS BECAUSE THE SERVICES ESSENTIALLY REMAIN THE SAME. MINOR CHANGES HAVE OCCURED WITH THE LOCATION OF THE SUBSTATION



ARCHITECTURAL - GENERAL NOTES

A1 All dimensions are to be confirmed on site by the builder/subcontractor, any inaccuracies must be reported to the Architect before commencement of any work.

A2 The Subcontractor shall be held responsible for any construction details which have not been approved by the Architect.

A3 In the event of encountering any discrepancies on these drawings, specification or subsequent instructions issued, the Builder/Subcontractor shall contact the Architect before proceeding further with any work.

A4 The Subcontractor shall be held responsible for the extinguishment of the whole building for a minimum period of two years after the date of practical completion.

A5 It is the contractor's responsibility to have all Architectural & Structural documentation, including all site instructions any any details issued during the course of construction, approved by the relevant authorities including the Local Council & the Water Board before any work may be proceeded with.

A6 All construction, control joints and expansion joints in the wall, floors, & other locations shall be in strict accordance with Architectural and/or Structural Engineering details. Neglect or breaches other than specified, are allowed without written permission from the Architect and/or Engineer.

A7 Measurements for the fabrication of secondary components such as, windows, doors, internal frames, structural steel components and the like, are not to be taken from these documents. Measurements must be taken on site and with the work in context.

A8 All structural components shall be in strict accordance to details and specifications as prepared by a structural engineer, and those details from part of the total specification.

A9 All existing structures need to be examined for structural adequacy, and it is the Contractor's responsibility to ensure that a certificate of structural adequacy is available prior to the start of any work.

A10 No construction work shall commence until a site survey has been completed. This work must be performed by a registered Surveyor.

A11 Foundation set-out, to be performed by the Surveyor mentioned in A10 and recovery pegs must be protected during construction.

A12 All tender work to comply with the requirements of the Light Timber Framing Code S.A.A. Codes and Structural Engineer's details and specifications.

A13 Copyrights of all documentation and designs relating to both Architectural and Structural Engineering, are retained by this office. Written authority is required for any reproduction.

A14 All Architectural documentation to be read in conjunction with the Structural Engineer's details and specification.

A15 Comply with the 'honesty matters' clause of the specification.

IMPORTANT NOTE: It is the Tenderer's & Contractor's responsibility to check that all Architectural, Structural and all other job related documentation's have been received before tendering and/or construction may commence. Should there be any doubts to the availability of such documents to the Architect should be notified before further details be needed, the tenderer and/or Contractor shall obtain such details before signing of contract documents. Failure to adhere to these conditions, the Tenderer and/or Contractor nullifies any right or claim for extras, due to interpretation of documentation, and the Architect's &/or Engineer's direction shall be carried out at the tenderer's cost.

DRAWN	DATE	ISSUE	AMENDMENT
NB	11.06.2024	A	RESPONSE TO COUNCIL RFI

PROJECT
206-214 Lakemba Street, Lakemba NSW

SADAD

CLIENT
Greek Orthodox Community of NSW

DRAWING NAME
PROPOSED LEVEL 2 PLAN

SCALE @ A1: As indicated
SCALE @ A3:

DRAWN: JT
CHECKER: NK
DATE: 15.07.2024

JOB NO. --
DRAWING NO. D018
ISSUE: D

Katris Architects Pty Ltd
Nominated Architects: Chris Katris (Reg 9724), Nick Katris (Reg 3878), Peter Katris (Reg 4569)
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www.katris.com.au
ABN 79 001 639 970



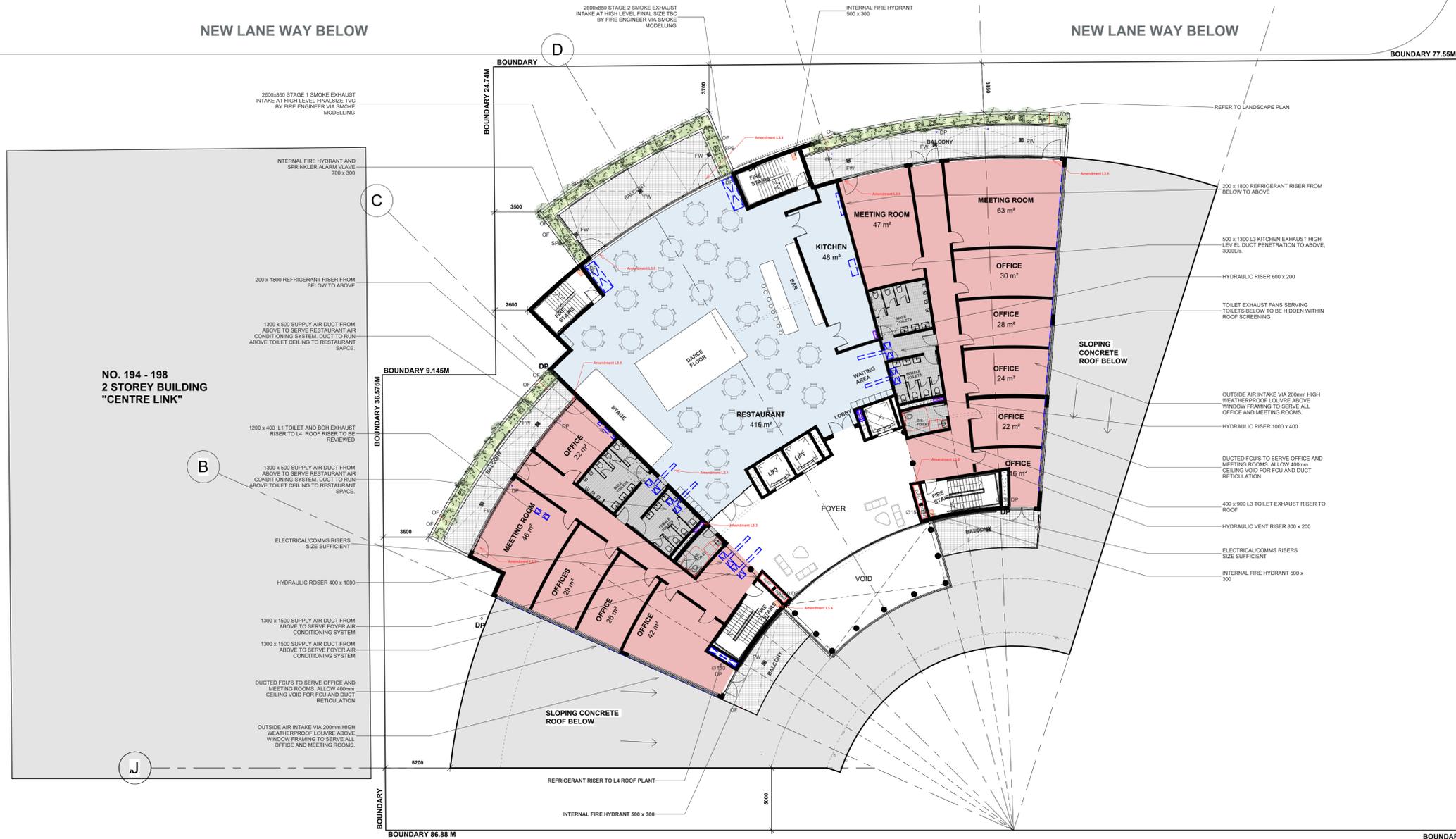
DA-55/2021
5-7, 7A & 9 Croydon Street, Lakemba
"BUILDING A" - 8 STOREY RESIDENTIAL BUILDING

DA-55/2021
5-7, 7A & 9 Croydon Street, Lakemba
"BUILDING B" - 7 STOREY RESIDENTIAL BUILDING

DA-55/2021
5-7, 7A & 9 Croydon Street, Lakemba
"BUILDING C" - 10 STOREY RESIDENTIAL BUILDING

NEW LANE WAY BELOW

NEW LANE WAY BELOW



NO. 194 - 198
2 STOREY BUILDING
"CENTRE LINK"

BRICK GARAGE

No. 216
TWO STOREY
BRICK/FIBRO UNITS
TILED ROOF

LAKEMBA STREET

AREAS LEGEND:

- DENOTES PROPOSED **COMMERCIAL/RETAIL** AREA
- DENOTES PROPOSED **POKER/GAMES ROOM** AREA
- DENOTES PROPOSED **ART & CULTURAL EXHIBITION & SALES AREA**
- DENOTES PROPOSED **OFFICE/MEETING ROOM** AREA
- DENOTES PROPOSED **KITCHEN & BAR AREAS**
- DENOTES PROPOSED **THEATRE/FUNCTION** AREA
- DENOTES PROPOSED **TOILET/WET AREA**
- DENOTES PROPOSED **MEMBER'S LOUNGE** AREA
- DENOTES PROPOSED **KID'S PLAY AREA**
- DENOTES PROPOSED **RESTAURANT AREA**

SCHEDULE OF AREAS (LETTABLE):

- GROUND FLOOR:**
- **COMMERCIAL/SHOPS (LETTABLE AREA):**
Shop 1 = 125 m²
Shop 2 = 88 m²
Shop 3 = 66 m²
Shop 4 = 38 m²
Total Commercial/Shop area = 317 m²
 - **THEATRE (LETTABLE AREA):**
Divisible Theatre Area 1 = 250 m²
Divisible Theatre Area 2 = 271 m²
Theatre Dressing Room Areas = 63m²
Total Theatre Area = 572m²
 - **BAR (LETTABLE AREA) = 23 m²**
 - **KITCHEN (LETTABLE AREA) = 42 + 13 + 6 = 61 m²**
 - TOTAL LETTABLE AREA ON GROUND FLOOR = 973 m²**
- LEVEL 1:**
- **FUNCTION (LETTABLE AREA):**
Divisible Function Area 1 = 266 m²
Divisible Function Area 2 = 271 m²
Divisible Function Area 3 = 102 m²
Theatre Dressing Room Areas = 72 m²
Total Function Area (Lettable) = 711 m²
 - **POKER MACHINE & GAMES ROOM (LETTABLE AREA) = 145 m²**
 - **BAR (LETTABLE AREA) = 63 m²**
 - **KITCHEN (LETTABLE AREA) = 74 + 36 = 110 m²**
 - **KIDS PLAY AREA (LETTABLE AREA) = 114m²**
 - TOTAL LETTABLE AREA ON LEVEL 1 = 1143m²**
- LEVEL 2:**
- GREEK ORTHODOX COMMUNITY USE ONLY:**
- **TOTAL OFFICE SPACES = 36 + 8 + 20 + 18 + 15 = 97 m²**
 - **MEETING ROOM = 63 + 169 + 61 + 91 + 52 + 48m²**
 - **BOARD ROOM = 45m²**
 - **PRESIDENT ROOM = 28 m²**
- LEVEL 3:**
- **RESTAURANT (LETTABLE AREA) = 412 m²**
 - **KITCHEN = 52m²**
 - **TOTAL OFFICE AREAS (LETTABLE AREA) = 285 m²**
 - **TOTAL MEETING ROOM AREAS (LETTABLE AREA) = 110m²**
 - TOTAL LETTABLE AREA ON LEVEL 3 = 899 m²**
- LEVEL 4:**
- RECEPTION LOUNGE:**
- RECEPTION AREA = 482m²
 - STORAGE ROOM = 27 m²
 - TOILETS = 22 + 18 + 7 = 37m²
 - KITCHEN = 53m²
- INFORMAL LOUNGE/ SITTING AREA = 68m²**
- TOTAL LETTABLE AREAS ON LEVEL 4 = 647m²**
- TOTAL LETTABLE AREA PER FLOOR:**
- GROUND FLOOR LETTABLE AREA = 973 m²
 - LEVEL 1 LETTABLE AREA = 1143m²
 - LEVEL 3 LETTABLE AREA = 899m²
 - LEVEL 4 LETTABLE AREA = 647m²
 - TOTAL LETTABLE AREA = 3622 m² (50.2% OF GFA)**
 - TOTAL GROSS FLOOR AREA = 7202.1**



VISUAL SCALE 1:200 @ A1
1:400 @ A3

NOTE:
SERVICES DRAWINGS WILL HAVE TO BE FURTHER AMENDED TO SUITE THE ARCHITECTURALS. HOWEVER THERE IS NO IMPACT ON THE SERVICE DRAWINGS DUE TO THE CHANGES IN THE ARCHITECTURALS BECAUSE THE SERVICES ESSENTIALLY REMAIN THE SAME. MINOR CHANGES HAVE OCCURRED WITH THE LOCATION OF THE SUBSTATION

1 Level 3
D019 1 : 200

ARCHITECTURAL - GENERAL NOTES

A1 All dimensions are to be confirmed on site by the builder/subcontractor, any incongruities must be reported to the Architect before commencement of any work.

A2 The Subcontractor shall be held responsible for any construction details which have not been approved by the Architect.

A3 In the event of encountering any discrepancies on these drawings, specification or subsequent instructions issued, the Builder/Subcontractor shall contact the Architect before proceeding further with any work.

A4 The Subcontractor shall be held responsible for the extinguishment of the whole building for a minimum period of two years after the date of practical completion.

A5 It is the contractor's responsibility to have all Architectural & Structural documentation, including all site instructions any any details issued during the course of construction, approved by the relevant authorities including the Local Council & the Water Board before any work is proceeded with.

A6 All construction, control joints and expansion joints in the wall, floor, & other locations shall be in strict accordance with Architectural and/or Structural Engineering details. Negatives or breaks other than specified, are allowed without written permission from the Architect and/or Engineer.

A7 Measurements for the fabrication of secondary components such as, windows, doors, internal frames, structural steel components and the like, are not to be taken from these documents. Measurements must be taken on site and the work is constructed.

A8 All structural components shall be in strict accordance to details and specifications as prepared by a structural engineer, and those details from part of the final specification.

A9 All existing structures need to be examined for structural adequacy, and it is the Contractor's responsibility to ensure that a certificate of structural adequacy is available prior to the start of any work.

A10 No construction work shall commence until a site survey has been completed. This work must be performed by a registered Surveyor.

A11 Foundation set-out, to be performed by the Surveyor/contractor in AS1 and recovery pegs must be protected during construction.

A12 All tender work to comply with the requirements of the Light Timber Framing Code S.A.A. Codes and Structural Engineer's details and specifications.

A13 Copyright of all documentation and designs relating to both Architectural and Structural Engineering, are retained by this office. Written authority is required for any reproduction.

A14 All Architectural documentation to be read in conjunction with the Structural Engineer's details and specification.

A15 Comply with the 'hazardous material' clause of the specification.

IMPORTANT NOTE: It is the Tenderer's & Contractor's responsibility to check that all Architectural, Structural and all other job related documentation's have been received before tendering and/or construction may commence. Should there be any doubt to the availability of such documents the Architect should be notified before further details be needed, the tenderer and/or Contractor shall obtain such details before signing of contract documents. Failure to adhere to these conditions, the Tenderer and/or Contractor nullifies any right or claim for extras, due to interpretation of documentation, and the Architect's/Builder/Engineer's direction shall be carried out at the tenderer's cost.

DRAWN	DATE	ISSUE	AMENDMENT
NB	11.06.2024	A	RESPONSE TO COUNCIL RFI

PROJECT
206-214 Lakemba Street, Lakemba NSW

SADAD

CLIENT
Greek Orthodox Community of NSW

TRUE NORTH

DRAWING NAME
PROPOSED LEVEL 3 PLAN

SCALE @ A1: As indicated
SCALE @ A3:

DRAWN: JT
CHECKER: NK
DATE: 15.07.2024

JOB NO. --
DRAWING NO. D019
ISSUE: D

Katris Architects Pty Ltd

Nominated Architect: Chris Katris (Reg 9724), Nick Katris (Reg 3878), Peter Katris (Reg 4569)

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ABN 79 001 639 970

DA-55/2021
5-7, 7A & 9 Croydon Street, Lakemba
"BUILDING A" - 8 STOREY RESIDENTIAL BUILDING

DA-55/2021
5-7, 7A & 9 Croydon Street, Lakemba
"BUILDING B" - 7 STOREY RESIDENTIAL BUILDING

DA-55/2021
5-7, 7A & 9 Croydon Street, Lakemba
"BUILDING C" - 10 STOREY RESIDENTIAL BUILDING

NEW LANE WAY BELOW

NEW LANE WAY BELOW

BRICK GARAGE

NO. 194 - 198
2 STOREY BUILDING
"CENTRE LINK"

No. 216
TWO STOREY
BRICK/FIBRO UNITS
TILED ROOF

AREAS LEGEND:

- DENOTES PROPOSED **COMMERCIAL/RETAIL** AREA
- DENOTES PROPOSED **POKER/GAMES ROOM** AREA
- DENOTES PROPOSED **ART & CULTURAL EXHIBITION & SALES AREA**
- DENOTES PROPOSED **OFFICE/MEETING ROOM** AREA
- DENOTES PROPOSED **KITCHEN & BAR AREAS**
- DENOTES PROPOSED **THEATRE/FUNCTION** AREA
- DENOTES PROPOSED **TOILET/WET AREA**
- DENOTES PROPOSED **MEMBER'S LOUNGE** AREA
- DENOTES PROPOSED **KID'S PLAY AREA**
- DENOTES PROPOSED **RESTAURANT AREA**

SCHEDULE OF AREAS (LETTABLE):

GROUND FLOOR:

COMMERCIAL/SHOPS (LETTABLE AREA):

- Shop 1 = 125 m²
- Shop 2 = 88 m²
- Shop 3 = 66 m²
- Shop 4 = 38 m²

Total Commercial/Shop area = 317 m²

THEATRE (LETTABLE AREA):

- Divisible Theatre Area 1 = 250 m²
- Divisible Theatre Area 2 = 271 m²
- Theatre Dressing Room Areas = 63 m²

Total Theatre Area = 572 m²

BAR (LETTABLE AREA) = 23 m²

KITCHEN (LETTABLE AREA) = 42 + 13 + 6 = 61 m²

TOTAL LETTABLE AREA ON GROUND FLOOR = 973 m²

LEVEL 1:

FUNCTION (LETTABLE AREA):

- Divisible Function Area 1 = 266 m²
- Divisible Function Area 2 = 271 m²
- Divisible Function Area 3 = 102 m²
- Theatre Dressing Room Areas = 72 m²

Total Function Area (Lettable) = 711 m²

POKER MACHINE & GAMES ROOM (LETTABLE AREA) = 145 m²

BAR (LETTABLE AREA) = 63 m²

KITCHEN (LETTABLE AREA) = 74 + 36 = 110 m²

KIDS PLAY AREA (LETTABLE AREA) = 114 m²

TOTAL LETTABLE AREA ON LEVEL 1 = 1143 m²

LEVEL 2:

GREEK ORTHODOX COMMUNITY USE ONLY:

- TOTAL OFFICE SPACES = 36 + 8 + 20 + 18 + 15 = 97 m²
- MEETING ROOM = 63 + 169 + 61 + 91 + 52 + 488 m²
- BOARD ROOM = 45 m²
- PRESIDENT ROOM = 28 m²

LEVEL 3:

RESTAURANT (LETTABLE AREA) = 412 m²

KITCHEN = 52 m²

TOTAL OFFICE AREAS (LETTABLE AREA) = 285 m²

TOTAL MEETING ROOM AREAS (LETTABLE AREA) = 110 m²

TOTAL LETTABLE AREA ON LEVEL 3 = 869 m²

LEVEL 4:

RECEPTION LOUNGE:

- RECEPTION AREA = 482 m²
- STORAGE ROOM = 27 m²
- TOILETS = 22 + 18 + 7 = 37 m²
- KITCHEN = 53 m²

INFORMAL LOUNGE/ SITTING AREA = 68 m²

TOTAL LETTABLE AREAS ON LEVEL 4 = 647 m²

TOTAL LETTABLE AREA PER FLOOR:

GROUND FLOOR LETTABLE AREA = 973 m²

LEVEL 1 LETTABLE AREA = 1143 m²

LEVEL 3 LETTABLE AREA = 859 m²

LEVEL 4 LETTABLE AREA = 647 m²

TOTAL LETTABLE AREA = 3622 m² (50.2% OF GFA)

TOTAL GROSS FLOOR AREA = 7202.1



VISUAL SCALE 1:200 @ A1
1:400 @ A3

NOTE:
SERVICES DRAWINGS WILL HAVE TO BE FURTHER AMENDED TO SUITE THE ARCHITECTURALS. HOWEVER THERE IS NO IMPACT ON THE SERVICE DRAWINGS DUE TO THE CHANGES IN THE ARCHITECTURALS BECAUSE THE SERVICES ESSENTIALLY REMAIN THE SAME. MINOR CHANGES HAVE OCCURED WITH THE LOCATION OF THE SUBSTATION

1 Proposed Level 4 Plan

D020 1:200

ARCHITECTURAL - GENERAL NOTES

A1 All dimensions are to be confirmed on site by the builder/subcontractor. Any incongruities must be reported to the Architect before commencement of any work.

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DRAWN	DATE	ISSUE	AMENDMENT
NB	11.06.2024	A	RESPONSE TO COUNCIL RFI

PROJECT
206-214 Lakemba Street, Lakemba NSW
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CLIENT
Greek Orthodox Community of NSW

DRAWING NAME		
PROPOSED LEVEL 4 PLAN		
SCALE @ A1: As indicated	DRAWN: JT	DATE: 15.07.2024
SCALE @ A3:	CHECKER: NK	
JOB NO.	DRAWING NO.	ISSUE:
--	D020	D

Katris Architects Pty Ltd

Nominated Architects: Chris Katris (Reg 9724), Nick Katris (Reg 3878), Peter Katris (Reg 4569)

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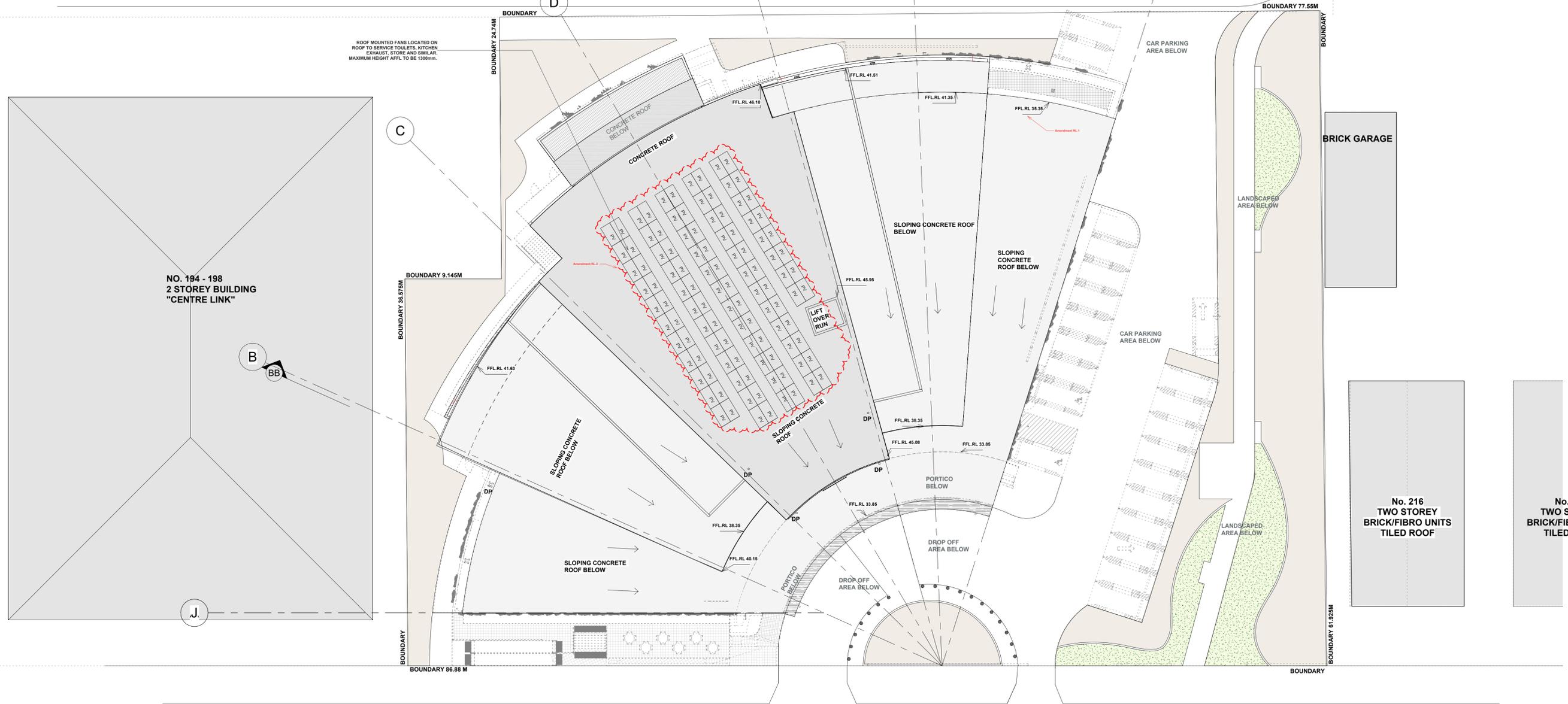
DA-55/2021
5-7, 7A & 9 Croydon Street, Lakemba
"BUILDING A" - 8 STOREY RESIDENTIAL BUILDING

DA-55/2021
5-7, 7A & 9 Croydon Street, Lakemba
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DA-55/2021
5-7, 7A & 9 Croydon Street, Lakemba
"BUILDING C" - 10 STOREY RESIDENTIAL BUILDING

NEW LANE WAY BELOW

NEW LANE WAY BELOW



NO. 194 - 198
2 STOREY BUILDING
"CENTRE LINK"

BRICK GARAGE

No. 216
TWO STOREY
BRICK/FIBRO UNITS
TILED ROOF

No. 218
TWO STOREY
BRICK/FIBRO UNITS
TILED ROOF

1 06 ROOF PLAN
D022 1 : 200

LAKEMBA STREET



VISUAL SCALE 1:200 @ A1
1:400 @ A3

NOTE:
PROPOSED LANDSCAPING AND TREES
REFER TO LANDSCAPING CONSULTANT
DOCUMENTS

NOTE:
SERVICES DRAWINGS WILL HAVE TO BE FURTHER AMENDED TO SUITE THE ARCHITECTURALS.
HOWEVER THERE IS NO IMPACT ON THE SERVICE DRAWINGS DUE TO THE CHANGES IN THE
ARCHITECTURALS BECAUSE THE SERVICES ESSENTIALLY REMAIN THE SAME. MINOR CHANGES
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DRAWN	DATE	ISSUE	AMENDMENT
NB	11.06.2024	A	RESPONSE TO COUNCIL RFI

PROJECT
206-214 Lakemba Street, Lakemba NSW

SADAD

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Greek Orthodox Community of NSW

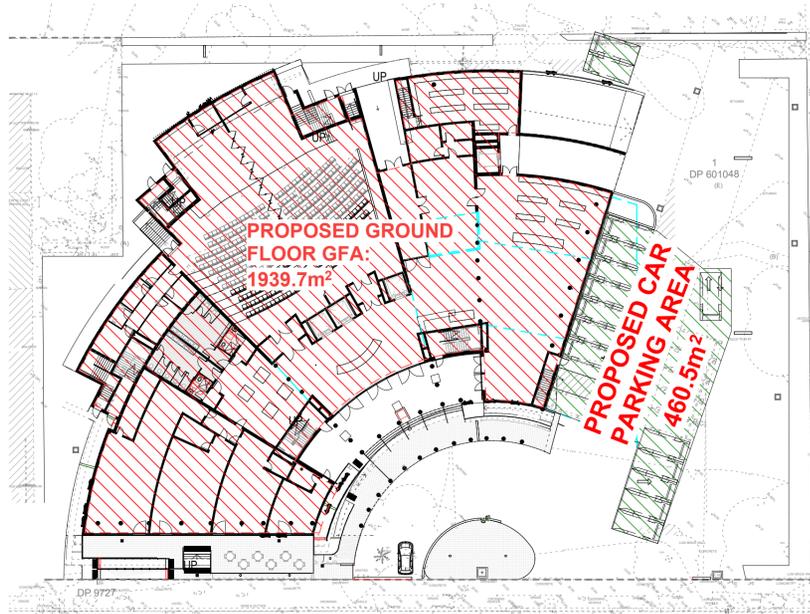
DRAWING NAME
PROPOSED ROOF PLAN

SCALE @ A1: 1 : 200	DRAWN: JT	DATE: 15.07.2024
SCALE @ A3:	CHECKER: NK	
JOB NO. --	DRAWING NO. D022	ISSUE: D

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2 Ground Floor - Area
D023 1: 400



3 Level 1 - Area
D023 1: 400

AREA CALCULATION:

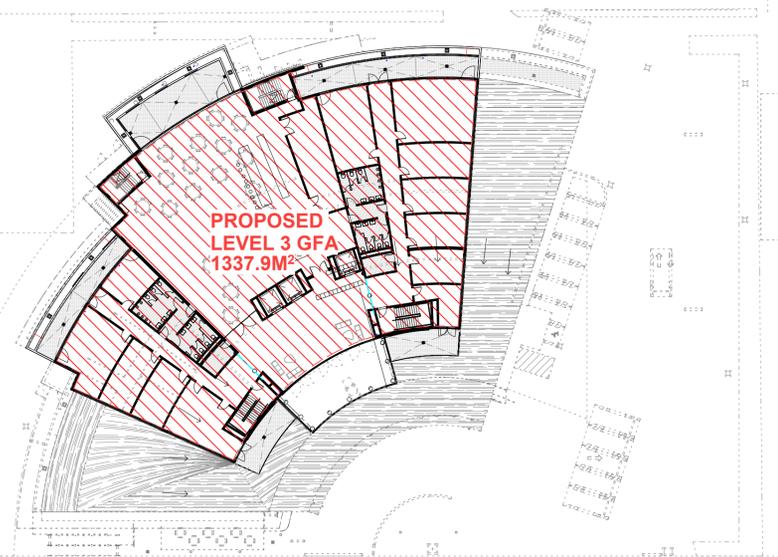
BASEMENT FLOOR AREA = 2289.7 M²

GROUND FLOOR GROSS FLOOR AREA = 1923.5 M²
 LEVEL 1 GROSS FLOOR AREA = 1908.4 M²
 LEVEL 2 GROSS FLOOR AREA = 1337.9 M²
 LEVEL 3 GROSS FLOOR AREA = 1337.9 M²
 LEVEL 4 GROSS FLOOR AREA = 694.4 M²

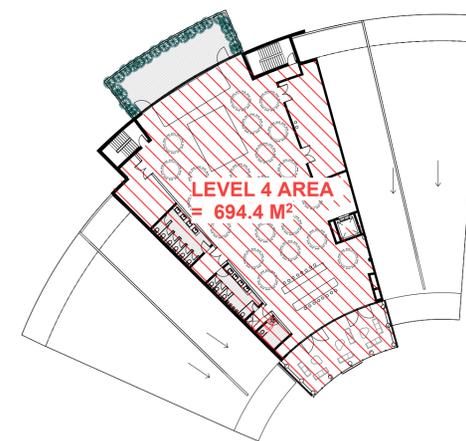
TOTAL PROPOSED GROSS FLOOR AREA (GFA) (EXCLUDING BASEMENT AREA) = 7202.1M²



4 Level 2 - Area
D023 1: 400



5 Level 3 - Area
D023 1: 400



6 Level 4 - Area
D023 1: 400

ARCHITECTURAL - GENERAL NOTES

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NB	11.06.2024	A	RESPONSE TO COUNCIL RFI

PROJECT
206-214 Lakemba Street, Lakemba NSW

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DRAWING NAME		
AREA CALCULATIONS		
SCALE @ A1: 1: 400	DRAWN: JT	DATE: 15.07.2024
SCALE @ A3:	CHECKER: NK	
JOB NO.	DRAWING NO.	ISSUE:
--	D023	D

Katris Architects Pty Ltd

Nominated Architects: Chris Katris (Reg 9724), Nick Katris (Reg 3878), Peter Katris (Reg 4569)

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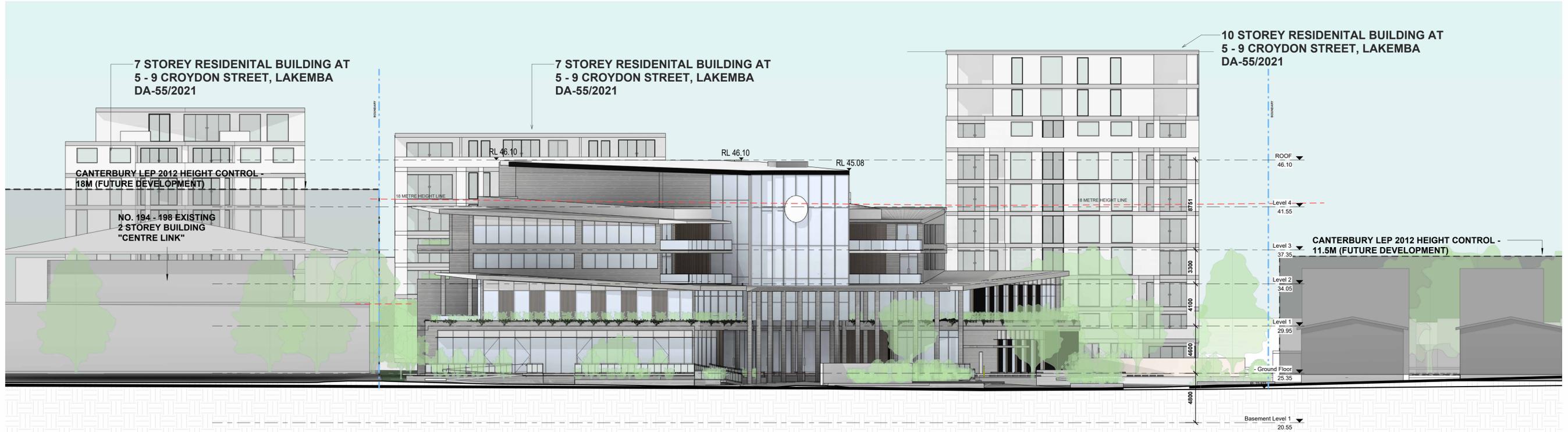
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1 NORTH ELEVATION (LAKEMBA STREET)
D024 1 : 200



2 SOUTH ELEVATION
D024 1 : 200

ARCHITECTURAL - GENERAL NOTES

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NB	11.06.2024	A	RESPONSE TO COUNCIL RFI

PROJECT

206-214 Lakemba Street, Lakemba NSW

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Greek Orthodox Community of NSW

TRUE NORTH

DRAWING NAME

PROPOSED ELEVATIONS 1

SCALE @ A1: 1 : 200
SCALE @ A3:

DRAWN: JT
CHECKER: NK
DATE: 15.07.2024

JOB NO.: --
DRAWING NO.: D024
ISSUE: D

Katris Architects Pty Ltd

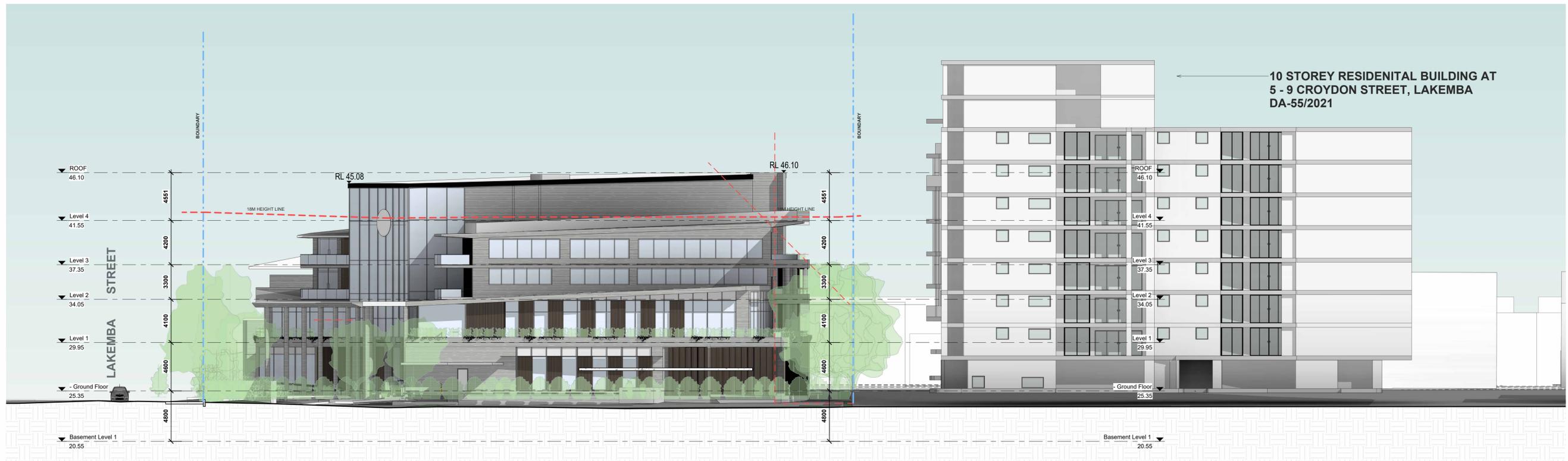
Nominated Architects: Chris Katris (Reg 9724), Nick Katris (Reg 3878), Peter Katris (Reg 4569)

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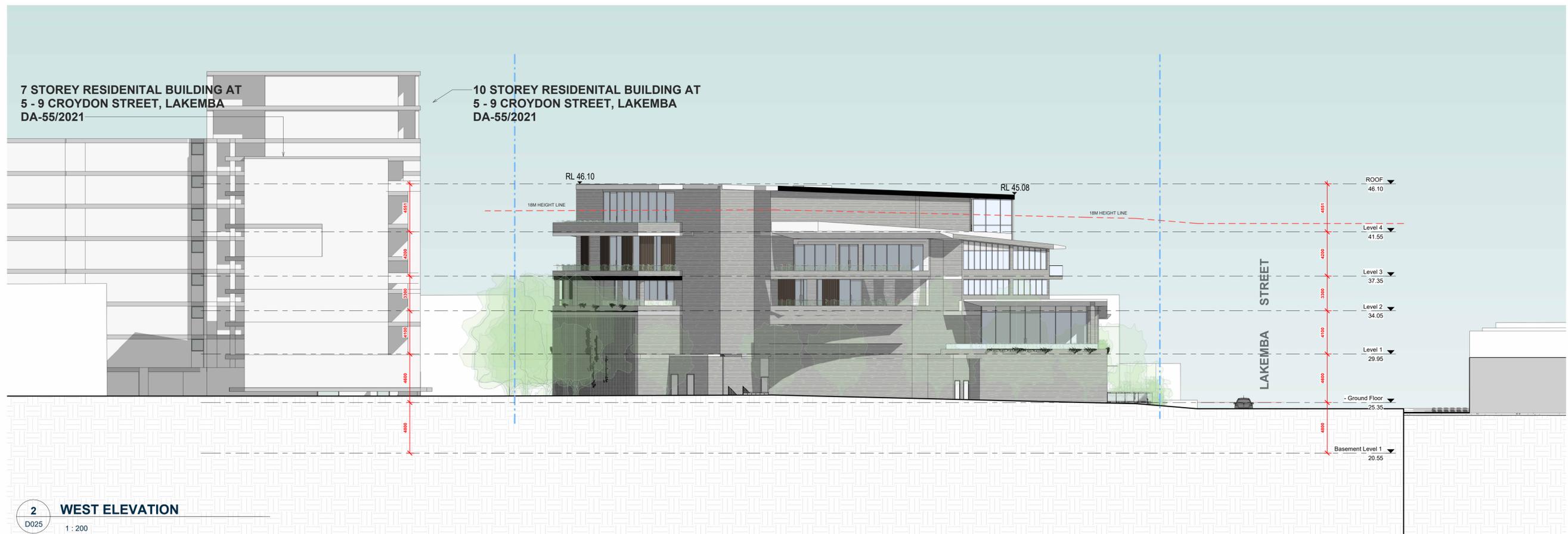
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1 EAST ELEVATION
D025 1 : 200



2 WEST ELEVATION
D025 1 : 200

ARCHITECTURAL - GENERAL NOTES

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DRAWN	DATE	ISSUE	AMENDMENT
NB	11.06.2024	A	RESPONSE TO COUNCIL RFI

PROJECT

206-214 Lakemba Street, Lakemba NSW

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Greek Orthodox Community of NSW

DRAWING NAME

PROPOSED ELEVATIONS 2

SCALE @ A1: 1 : 200

SCALE @ A3:

DRAWN: JT

CHECKER: NK

DATE: 15.07.2024

JOB NO.

--

DRAWING NO.

D025

ISSUE:

D

Katris Architects Pty Ltd

Nominated Architects: Chris Katris (Reg 9724), Nick Katris (Reg 3878), Peter Katris (Reg 4569)

Level 1, Suite 2, 28-30 Burwood Road, Burwood NSW 2134

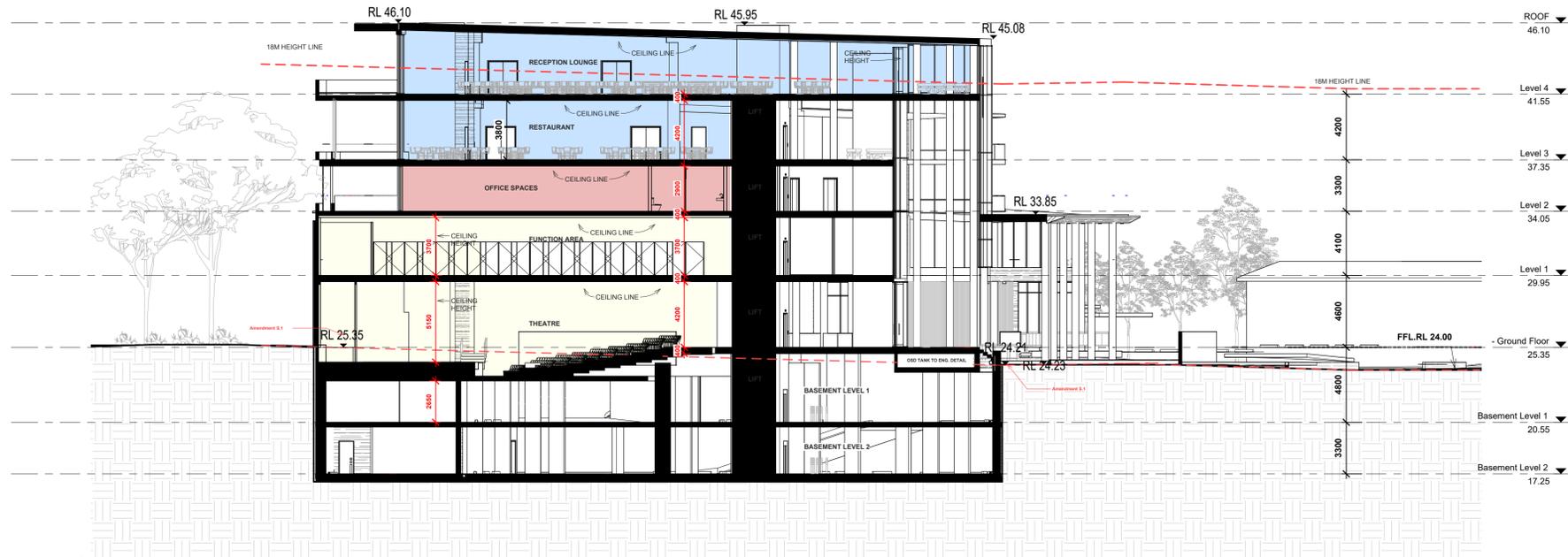
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P 02 9744 5421 F 02 9747 5046

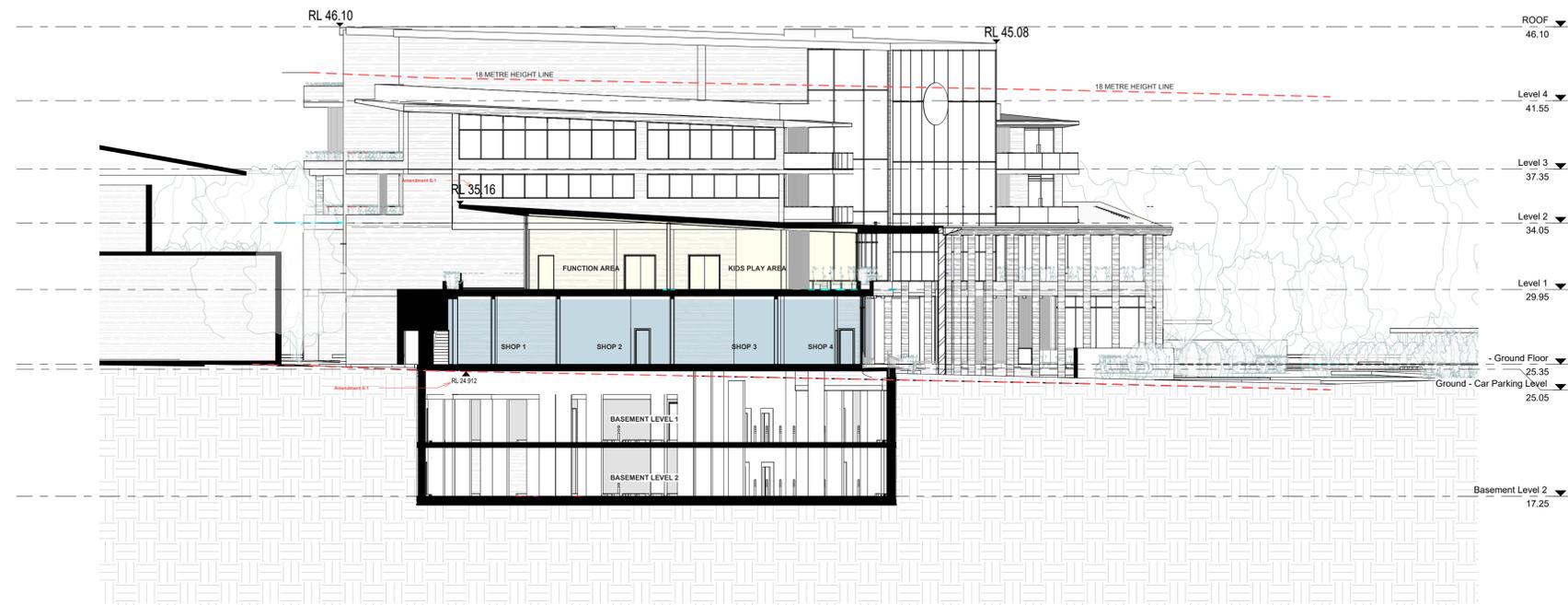
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1 SECTION AA
D026 1 : 200



2 SECTION BB
D026 1 : 200

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A15 Comply with the 'hazardous materials' clause of the specification.

IMPORTANT NOTE: It is the Tenderer's & Contractor's responsibility to check that all Architectural, Structural and all other job related documentation has been received before tendering and/or construction may commence. Should there be any doubt to the availability of such documents to the Architect, should be notified before further details be needed, the tenderer and/or Contractor shall obtain such details before signing of contract documents. Failure to adhere to these conditions, the Tenderer and/or Contractor nullifies any right or claim for extras, due to interpretation of documentation, and the Architect's &/or Engineer's direction shall be carried out at the tenderer's cost.

DRAWN	DATE	ISSUE	AMENDMENT
NB	11.06.2024	A	RESPONSE TO COUNCIL RFI

PROJECT
206-214 Lakemba Street, Lakemba NSW

SADAD

CLIENT
Greek Orthodox Community of NSW



DRAWING NAME
SECTIONS

SCALE @ A1: 1 : 200
SCALE @ A3:

DRAWN: JT
CHECKER: NK
DATE: 15.07.2024

JOB NO.
--

DRAWING NO.
D026

ISSUE:
D

Katris Architects Pty Ltd
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M05

M04

M01

M04

M03

M05

M01

M02

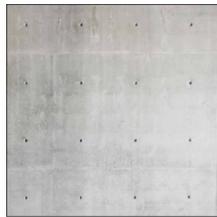
M04



M01
CEMENT RENDER & PAINT
PAINT FINISH SIMILAR TO DULUX
'LEXICON'



M02
TIMBER LOOK METAL BATTENS
SIMILAR TO 'COVET - TIMBER LOOK
BATTEN CLADDING - COLOUR -
SURPURINGU



M03
OFF - FORM CONCRETE



M04
FRAMELESS GLASS BALUSTRADE



M05
GLAZING IN ALUMINIUM FRAME
FRAME FINISH SIMILAR TO DULUX
POWDERCOAT 'MONUMENT'

ARCHITECTURAL - GENERAL NOTES

A1 All dimensions are to be confirmed on site by the builder/subcontractor, any incongruities must be reported to the Architect before commencement of any work.
 A2 The Subcontractor will be held responsible for any construction details which have not been approved by the Architect.
 A3 In the event of encountering any discrepancies on these drawings, specification or subsequent instructions issued, the Builder/Subcontractor shall contact the Architect before proceeding further with any work.
 A4 The Subcontractor will be held responsible for the establishment of the whole building for a minimum period of two years after the date of practical completion.
 A5 It is the contractor's responsibility to have all Architectural & Structural documentation, including all site instructions any any details issued during the course of construction, approved by the relevant authorities including the local Council & the Water Board before any work may be proceeded with.
 A6 All construction, control joints and expansion joints in the wall, floor, & other locations shall be in strict accordance with Architectural and/or Structural Engineering details. Neglect or breaches other than specified, are allowed without written permission from the Architect and/or Engineer.
 A7 Measurements for the fabrication of secondary components such as, windows, doors, internal frames, structural steel components and the like, are not to be taken from these documents. Measurements must be taken on site and approved by the Architect.
 A8 All structural components shall be in strict accordance to details and specifications as prepared by a structural engineer, and those details from part of the total specification.
 A9 All existing structures need to be examined for structural adequacy, and it is the Contractor's responsibility to ensure that a certificate of structural adequacy is available prior to the start of any work.
 A10 No construction work shall commence until a site survey has been completed. This work must be performed by a registered Surveyor.
 A11 Foundation set-out, to be performed by the Surveyor, measured in ASCE and recovery pegs must be protected during construction.
 A12 All timber work is to comply with the requirements of the Light Timber Framing Code of A.A. Codes and Structural Engineer's details and specification.
 A13 Copyrights of all documentation and designs relating to both Architectural and Structural Engineering, are retained to this office. Written authority is required for any reproduction.
 A14 All Architectural documentation to be read in conjunction with the Structural Engineer's details and specification.
 A15 Comply with the 'hazardous material' clause of the specification.
 IMPORTANT NOTE: It is the Tenderer's & Contractor's responsibility to check that all Architectural, Structural and all other job related documentation's have been received before tendering and/or construction, and commence. Should there be any doubts to the availability of such documents to the Architect should be notified before further details be needed, the tenderer and/or Contractor shall obtain such details before signing of contract documents. Failure to adhere to these conditions, the Tenderer and/or Contractor nullifies any right or claim for extras, due to interpretation of documentation, and the Architect's &/or Engineer's direction shall be carried out at the extra cost.

DRAWN DATE ISSUE AMENDMENT

DRAWN	DATE	ISSUE	AMENDMENT
NB	11.06.2024	A	RESPONSE TO COUNCIL RFI

PROJECT

206-214 Lakemba Street, Lakemba NSW
 SADAD
 CLIENT
Greek Orthodox Community of NSW

DRAWING NAME

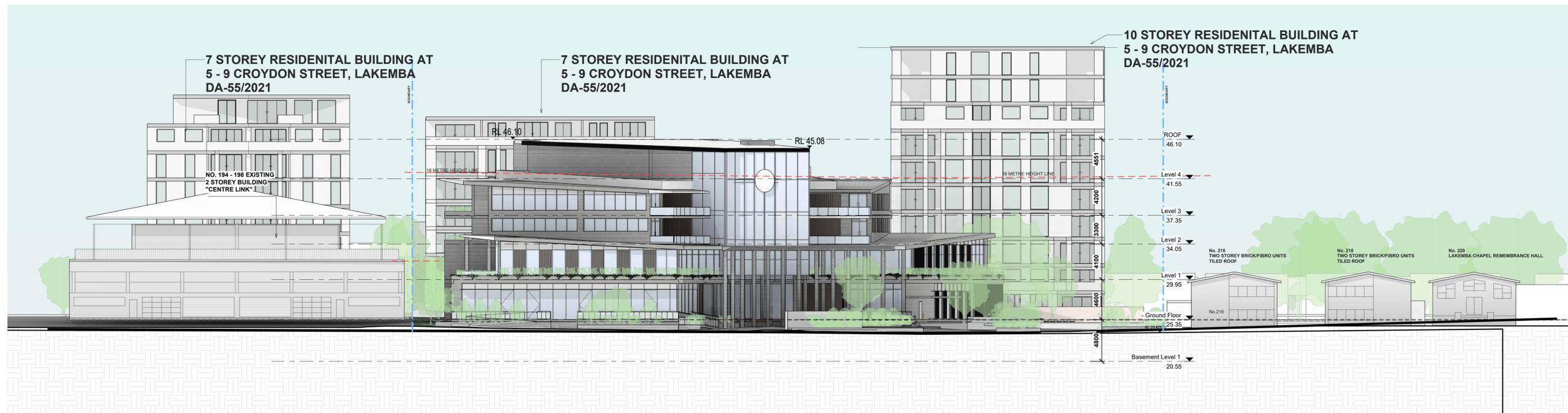
SCHEDULE OF COLOUR AND FINISHES

SCALE @ A1:	DRAWN: AJ	DATE: 15.07.2024
SCALE @ A3:	CHECKER: NK	
JOB NO.	DRAWING NO.	ISSUE:
--	D029	D

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1 STREETScape ELEVATION (LAKEMBA STREET)
D030 1 : 250



1. NEIGHBOURING BUILDING AT NO. 194 - 198 LAKEMBA ST, LAKEMBA. 2 STOREY BUILDING "CENTRE LINK"

2. NEIGHBOURING BUILDING AT NO. 216 - 218 LAKEMBA ST, LAKEMBA. 2 STOREY BUILDING BRICK FIBRO RESIDENTIAL UNITS

3. NEIGHBOURING BUILDING AT No. 220 LAKEMBA CHAPEL REMEMBRANCE HALL

ARCHITECTURAL - GENERAL NOTES
A1 All dimensions are to be confirmed on site by the builder/subcontractor, any inaccuracies must be reported to the Architect before commencement of any work.
A2 The Subcontractor shall be held responsible for any construction details which have not been approved by the Architect.
A3 In the event of encountering any discrepancies on these drawings, specification or subsequent instructions issued, the Builder/Subcontractor shall contact the Architect before proceeding further with any work.
A4 The Subcontractor shall be held responsible for the safety of the whole building for a minimum period of two years after the date of practical completion.
A5 It is the contractor's responsibility to have all Architectural & Structural documentation, including all site instructions any any details issued during the course of construction, approved by the relevant authorities including the local Council & the Water Board before any work may proceed with.
A6 All construction, control joints and expansion joints in the wall, floor, & other locations shall be in strict accordance with Architectural and/or Structural Engineering details. Neglect or breaks other than specified, are allowed without written permission from the Architect and/or Engineer.
A7 Measurements for the fabrication of secondary components such as, windows, doors, internal frames, structural steel components and the like, are not to be taken from these documents. Measurements must be taken on site and with an approved Engineer.
A8 All structural components shall be in strict accordance to details and specifications as prepared by a structural engineer, and those details from part of the total specification.
A9 All existing structures need to be examined for structural adequacy, and it is the Contractor's responsibility to ensure that a certificate of structural adequacy is available prior to the start of any work.
A10 No construction work shall commence until a site survey has been completed. This work must be performed by a registered Surveyor.
A11 Foundation set-out, to be performed by the Surveyor mentioned in A10 and recovery pegs must be protected during construction.
A12 All timber work is to comply with the requirements of the Light Timber Framing Code of Practice, AS 1684, and Structural Engineer's details and specifications.
A13 Copyrights of all documentation and designs relating to both Architectural and Structural Engineering, are retained by this office. Written authority is required for any reproduction.
A14 All Architectural documentation to be read in conjunction with the Structural Engineer's details and specifications.
A15 Comply with the 'hazardous materials' clause of the specification.
IMPORTANT NOTE: It is the Tenderer's & Contractor's responsibility to check that all Architectural, Structural and all other job related documentation has been received before tendering and/or construction may commence. Should there be any doubts to the availability of such documents the Architect should be notified before further details are needed, the Tenderer and/or Contractor shall obtain such details before signing of contract documents. Failure to adhere to these conditions, the Tenderer and/or Contractor nullifies any right or claim for extras, due to interpretation of documentation, and the Architect's &/or Engineer's direction shall be carried out at the contractor's cost.

DRAWN	DATE	ISSUE	AMENDMENT
NB	11.06.2024	A	RESPONSE TO COUNCIL RFI

PROJECT
206-214 Lakemba Street, Lakemba NSW
SADAD
CLIENT
Greek Orthodox Community of NSW

DRAWING NAME
STREETScape ELEVATION
SCALE @ A1: 1 : 250
SCALE @ A3:
DRAWN: MG
CHECKER: NK
DATE: 15.07.2024
JOB NO.: --
DRAWING NO.: **D030**
ISSUE: **D**

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1
D027

VIEW ENTRANCE VIEW

ARCHITECTURAL - GENERAL NOTES

A1 All dimensions are to be confirmed on site by the builder/subcontractor, any incongruities must be reported to the Architect before commencement of any work.
A2 The Subcontractor shall be held responsible for any construction details which have not been approved by the Architect.
A3 In the event of encountering any discrepancies on these drawings, specification or subsequent instructions issued, the Builder/Subcontractor shall contact the Architect before proceeding further with any work.
A4 The Subcontractor shall be held responsible for the waterproofing of the whole building for a minimum period of two years after the date of practical completion.
A5 It is the contractor's responsibility to have all Architectural & Structural documentation, including all site instructions any any details issued during the course of construction, approved by the relevant authorities including the local Council & the Water Board before any work may be proceeded with.
A6 All construction, control joints and expansion joints in the wall, floor, & other locations shall be in strict accordance with Architectural and/or Structural Engineering details. Nipples or breakers other than specified, are allowed without permission from the Architect and/or Engineer.
A7 Measurements for the fabrication of secondary components such as, windows, doors, internal frames, structural steel components and the like, are not to be taken from these documents. Measurements must be taken on site and the architect notified.
A8 All structural components shall be in strict accordance to details and specifications as prepared by a structural engineer, and those details from part of the total specification.
A9 All existing structures need to be examined for structural adequacy, and it is the Contractor's responsibility to ensure that a certificate of structural adequacy is available prior to the start of any work.
A10 No construction work shall commence until a site survey has been completed. This work must be performed by a registered Surveyor.
A11 Foundation set-out, to be performed by the Surveyor mentioned in A10 and recovery pegs must be protected during construction.
A12 All timber work to comply with the requirements of the Light Timber Framing Code S.A.A. Codes and Structural Engineer's details and specification.
A13 Copyright of all documentation and designs relating to both Architectural and Structural Engineering, are retained by this office. Written authority is required for any reproduction.
A14 All Architectural documentation to be read in conjunction with the Structural Engineer's details and specification.
A15 Comply with the 'hazardous materials' clause of the specification.
IMPORTANT NOTE: It is the Tenderer's & Contractor's responsibility to check that all Architectural, Structural and all other job related documentation's have been received before tendering and/or construction may commence. Should there be any doubts to the availability of such documents the Architect should be notified before further details be needed, the tenderer and/or Contractor shall obtain such details before signing of contract documents. Failure to adhere to these conditions, the Tenderer and/or Contractor nullifies any right or claim for extras, due to interpretation of documentation, and the Architect's & Engineer's direction shall be carried out at the extra cost.

DRAWN	DATE	ISSUE	AMENDMENT
NB	11.06.2024	A	RESPONSE TO COUNCIL RFI

PROJECT

206-214 Lakemba Street, Lakemba NSW

SADAD

CLIENT

Greek Orthodox Community of NSW

DRAWING NAME

3D VIEW

SCALE @ A1:
SCALE @ A3:

DRAWN: JT
CHECKER: NK

DATE: 15.07.2024

JOB NO.

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DRAWING NO.

D027

ISSUE:

D



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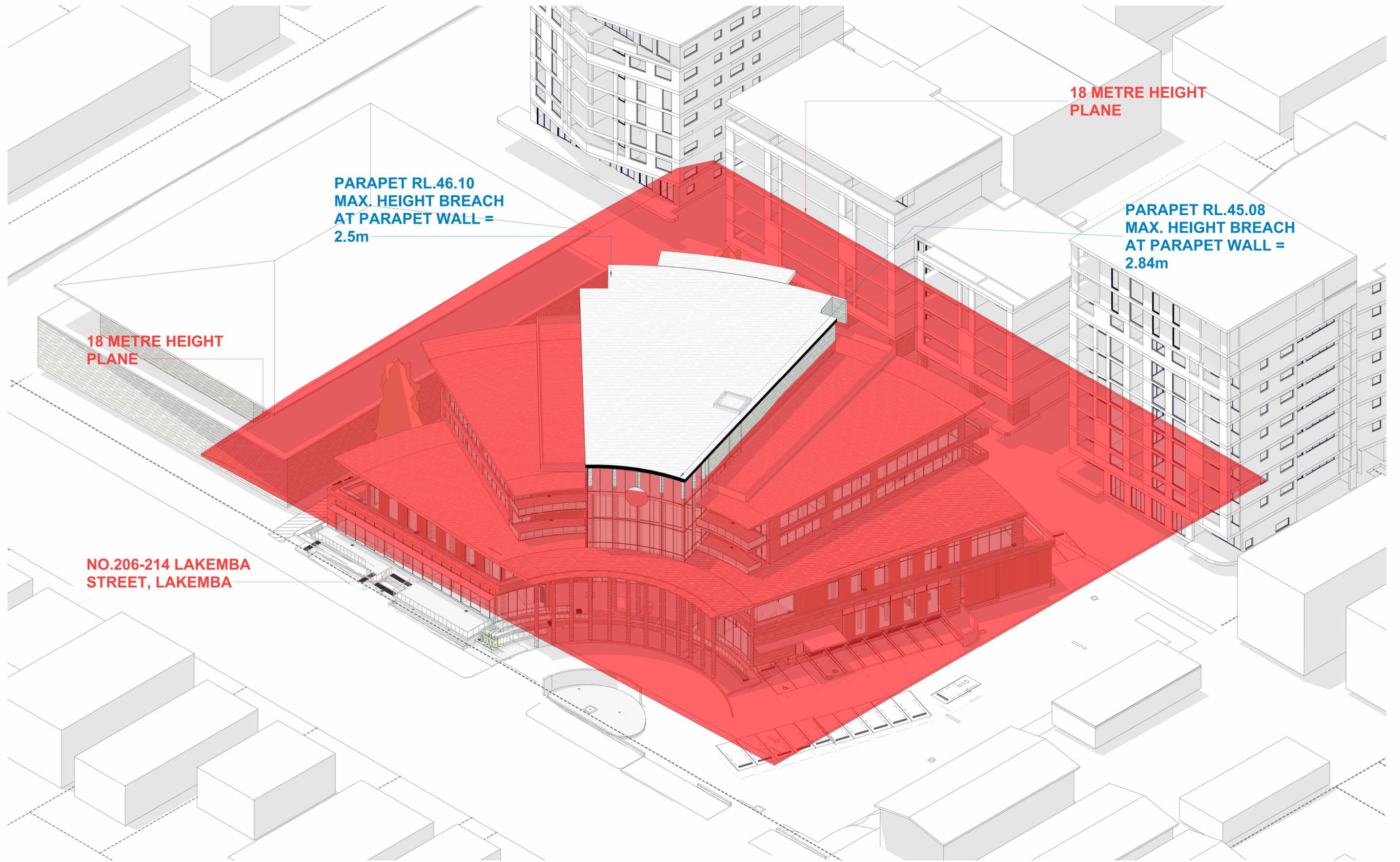
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ABN 79 001 639 970





1 HEIGHT PLANE DIAGRAM
D031

ARCHITECTURAL - GENERAL NOTES

A1 All dimensions are to be confirmed on site by the builder/subcontractor, any incongruities must be reported to the Architect before commencement of any work.

A2 The Subcontractor will be held responsible for any construction details which have not been approved by the Architect.

A3 In the event of encountering any discrepancies on these drawings, specification or subsequent instructions issued, the Builder/Subcontractor shall contact the Architect before proceeding further with any work.

A4 The Subcontractor will be held responsible for the sustainability of the whole building for a minimum period of two years after the date of practical completion.

A5 It is the contractor's responsibility to have all Architectural & Structural documentation, including all site instructions any details issued during the course of construction, approved by the relevant authorities including the local Council & the Water Board before any work may be proceeded with.

A6 All construction, control joints and expansion joints in the wall, floors, & other locations shall be in strict accordance with Architectural and/or Structural Engineering details. Negatives or breaks other than specified, are allowed without written permission from the Architect and/or Engineer.

A7 Measurements for the fabrication of secondary components such as, windows, doors, internal frames, structural steel components and the like, are not to be taken from these documents. Measurements must be taken on site and verified with the Architect and/or Engineer.

A8 All structural components shall be in strict accordance to details and specifications as prepared by a structural engineer, and those details from part of the total specification.

A9 All existing structures need to be examined for structural adequacy, and it is the Contractor's responsibility to ensure that a certificate of structural adequacy is available prior to the start of any work.

A10 No construction work shall commence until a site survey has been completed. This work must be performed by a registered Surveyor.

A11 Foundation set-out, to be performed by the Surveyor measured in ASCE and recovery pegs must be provided during construction.

A12 All timber work to comply with the requirements of the Light Timber Framing Code S.A.A. Codes and Structural Engineer's details and specifications.

A13 Copyrights of all documentation and designs relating to both Architectural and Structural Engineering, are retained to this office. Written authority is required for any reproduction.

A14 All Architectural documentation to be read in conjunction with the Structural Engineer's details and specification.

A15 Comply with the 'hazardous materials' clause of the specification.

IMPORTANT NOTE: It is the Tenderer's & Contractor's responsibility to check that all Architectural, Structural and all other job related documentation has been received before tendering and/or construction may commence. Should there be any doubts to the availability of such documents the Architect should be notified before further details be needed, the tenderer and/or Contractor shall obtain such details before signing of contract documents. Failure to adhere to these conditions, the Tenderer and/or Contractor nullifies any right or claim for extras, due to interpretation of documentation, and the Architect's &/or Engineer's direction shall be carried out at no extra cost.

DRAWN	DATE	ISSUE	AMENDMENT
NB	11.06.2024	A	RESPONSE TO COUNCIL RFI

PROJECT
206-214 Lakemba Street, Lakemba NSW

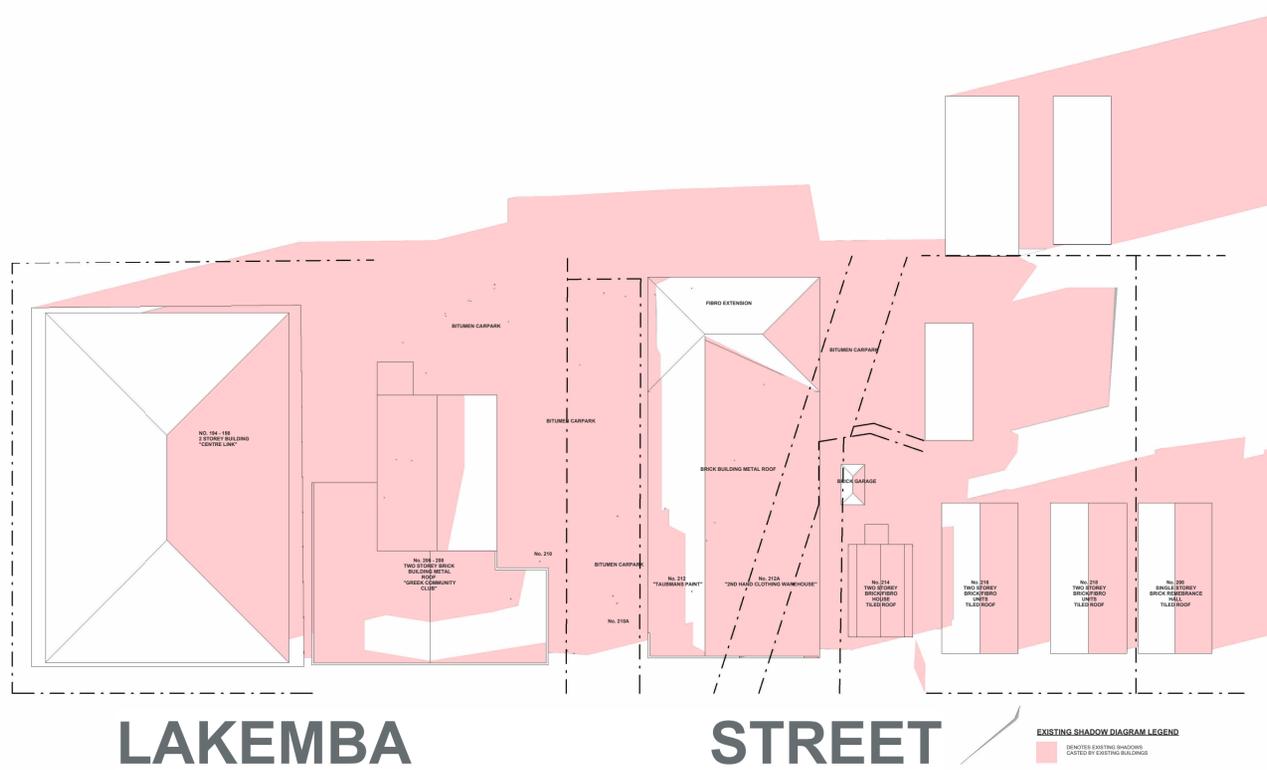
SADAD

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Greek Orthodox Community of NSW

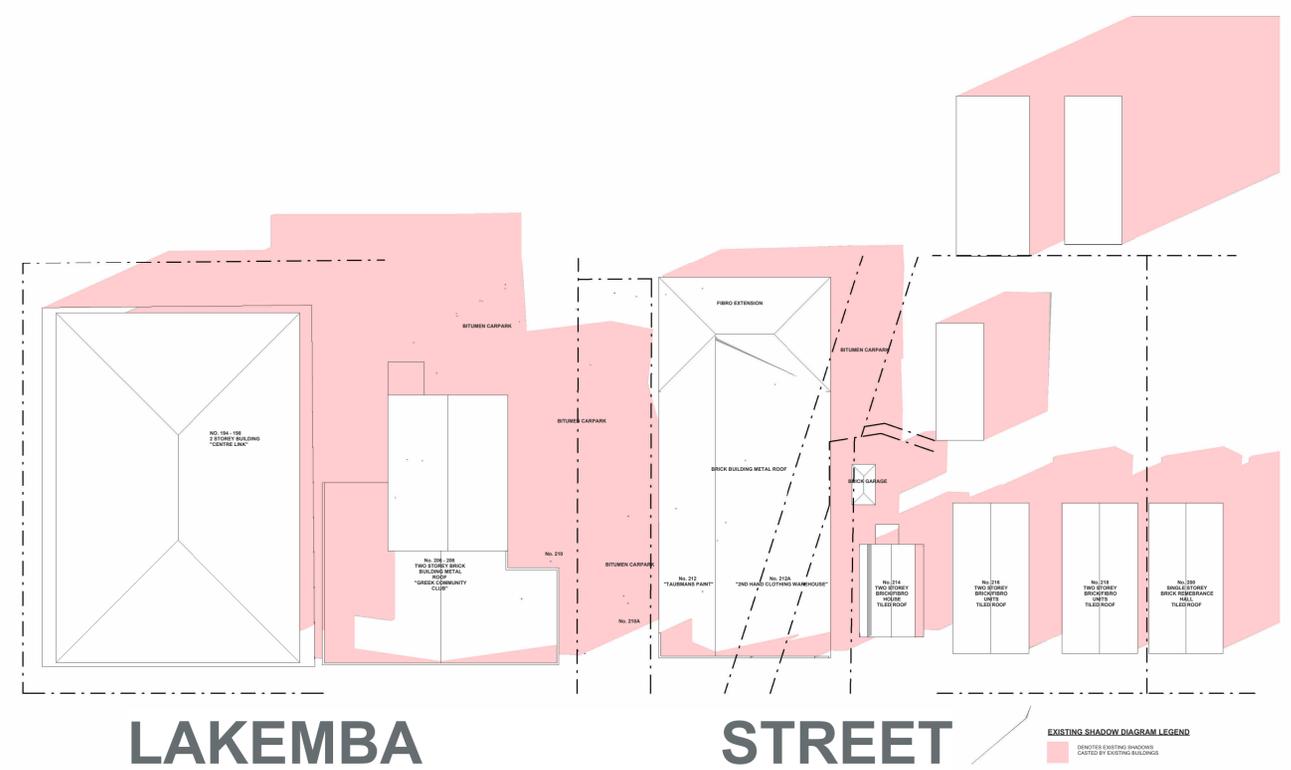
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HEIGHT PLANE DIAGRAM		
SCALE @ A1:	DRAWN: AJ	DATE: 15.07.2024
SCALE @ A3:	CHECKER: NK	
JOB NO.	DRAWING NO.	ISSUE:
--	D031	D

Katris Architects Pty Ltd
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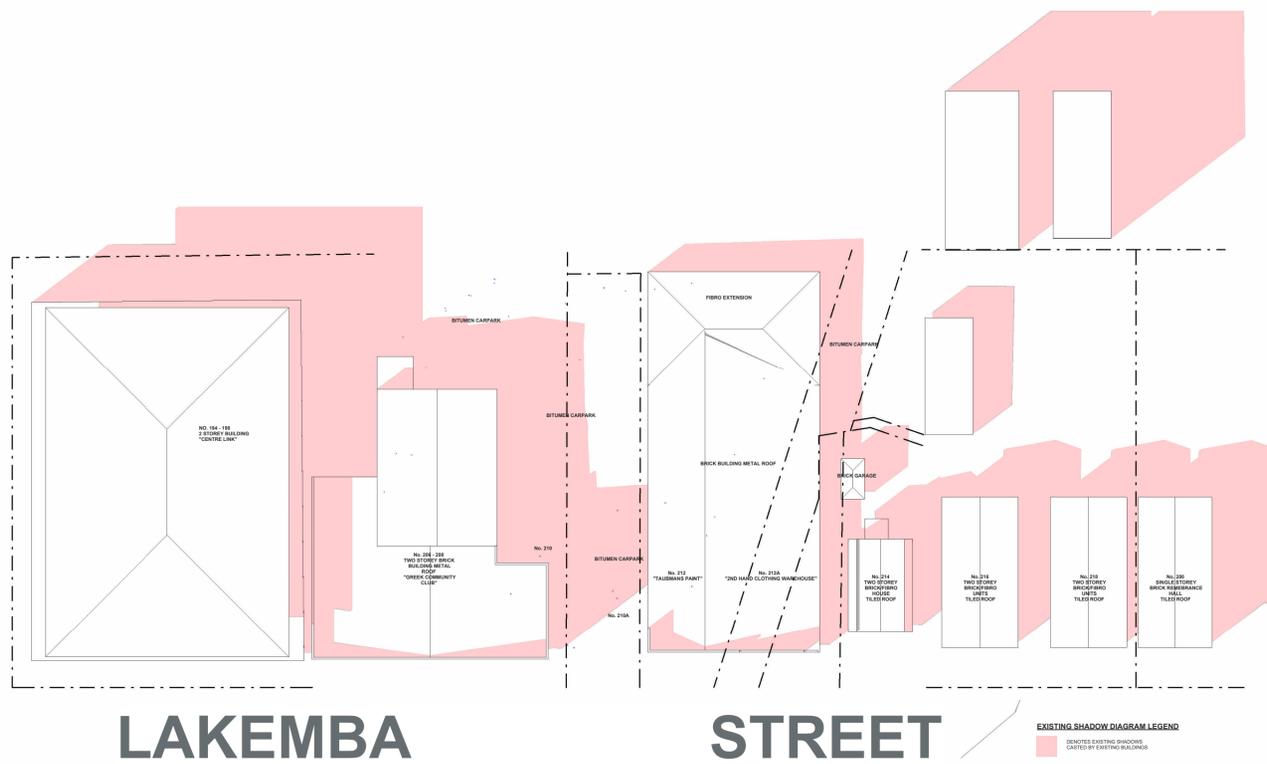




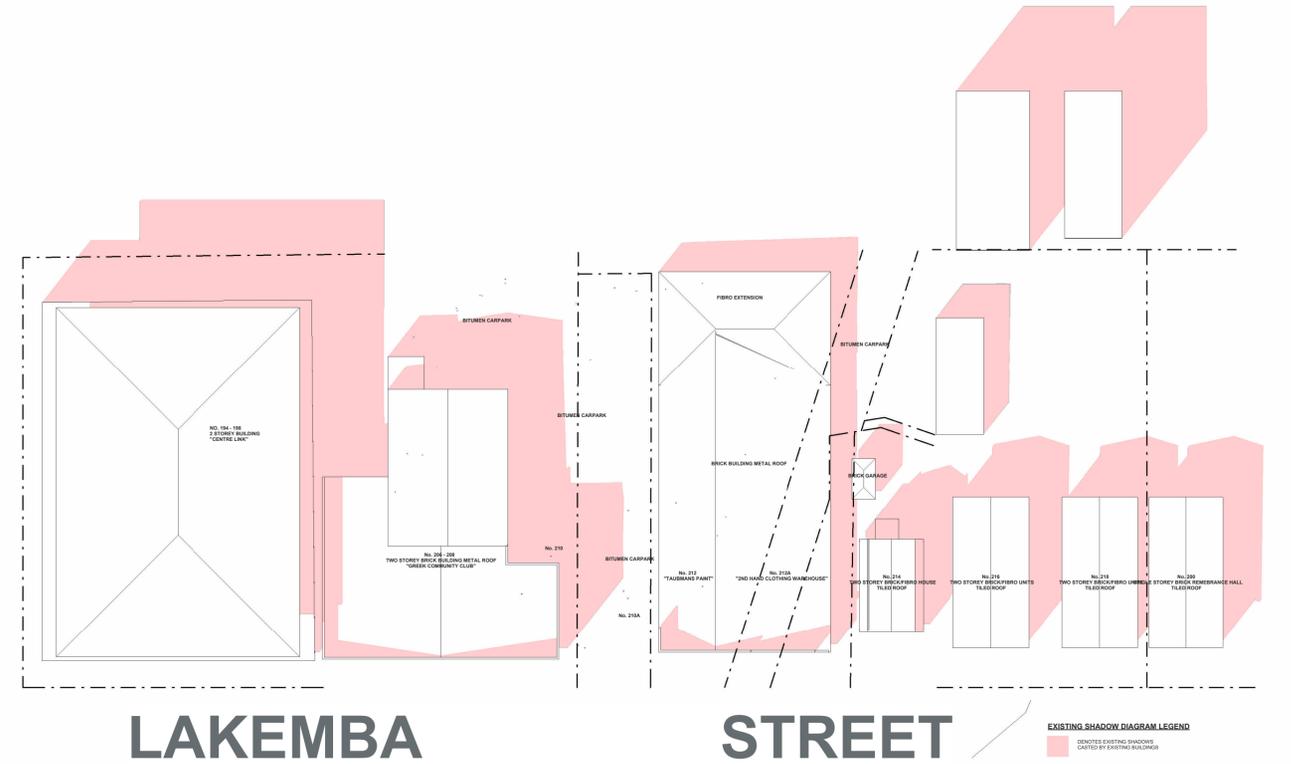
7 - EXISTING SHADOWS JUNE 21 8AM
1 : 500



4 - EXISTING SHADOWS JUNE 21 9AM
1 : 500



3 - EXISTING SHADOWS JUNE 21 10AM
1 : 500



5 - EXISTING SHADOWS JUNE 21 11AM
1 : 500

ARCHITECTURAL - GENERAL NOTES
 A1 All dimensions are to be confirmed on site by the builder/subcontractor, any incongruities must be reported to the Architect before commencement of any work.
 A2 The Subcontractor will be held responsible for any construction details which have not been approved by the Architect.
 A3 In the event of encountering any discrepancies on these drawings, specification or subsequent instructions issued, the Subcontractor shall contact the Architect before proceeding further with any work.
 A4 The Subcontractor will be held responsible for the water-tightness of the whole building for a minimum period of two years after the date of practical completion.
 A5 It is the contractor's responsibility to have all Architectural & Structural documentation, including all site instructions any details issued during the course of construction, approved by the relevant authorities including the local Council & the Water Board before any work may be proceeded with.
 A6 All construction, control joints and expansion joints in the wall, floors & other locations shall be in strict accordance with Architectural and/or Structural Engineering details. Negatives or breaks other than specified, are allowed without further permission from the Architect and/or Engineer.
 A7 Measurements for the fabrication of secondary components such as, windows, doors, internal frames, structural steel components and the like, are not to be taken from these documents. Measurements must be taken on site and the work is completed.
 A8 All structural components shall be in strict accordance to details and specifications as prepared by a structural engineer, and those details from part of the total specification.
 A9 All existing structures need to be examined for structural adequacy, and it is the Contractor's responsibility to ensure that a certificate of structural adequacy is available prior to the start of any work.
 A10 No construction work shall commence until a site survey has been completed. This work must be performed by a registered Surveyor.
 A11 Foundation set-out, to be performed by the Surveyor mentioned in A12 and recovery pegs must be protected during construction.
 A12 All timber work to comply with the requirements of the Light Timber Framing Code S.A.A. Codes and Structural Engineer's details and specifications.
 A13 Copyrights of all documentation and drawings relating to both Architectural and Structural Engineering, are retained by this office. Written authority is required for any reproduction.
 A14 All Architectural documentation to be read in conjunction with the Structural Engineer's details and specifications.
 A15 Comply with the 'honesty marker' clause of the specification.
 IMPORTANT NOTE: It is the Tenderer's & Contractor's responsibility to check that all Architectural, Structural and all other job related documentation have been received before tendering and/or construction may commence. Should there be any doubt as to the availability of such documents the Architect should be notified before further details are needed, the Tenderer and/or Contractor shall obtain such details before signing of contract documents. Failure to adhere to these conditions, the Tenderer and/or Contractor nullifies any right or claim for extras, due to interpretation of documentation, and the Architect's & Engineer's direction shall be carried out at all extra cost.

DRAWN DATE ISSUE AMENDMENT
 NB 11.06.2024 A RESPONSE TO COUNCIL RFI

PROJECT
206-214 Lakemba Street, Lakemba NSW
 SADAD
 CLIENT
Greek Orthodox Community of NSW

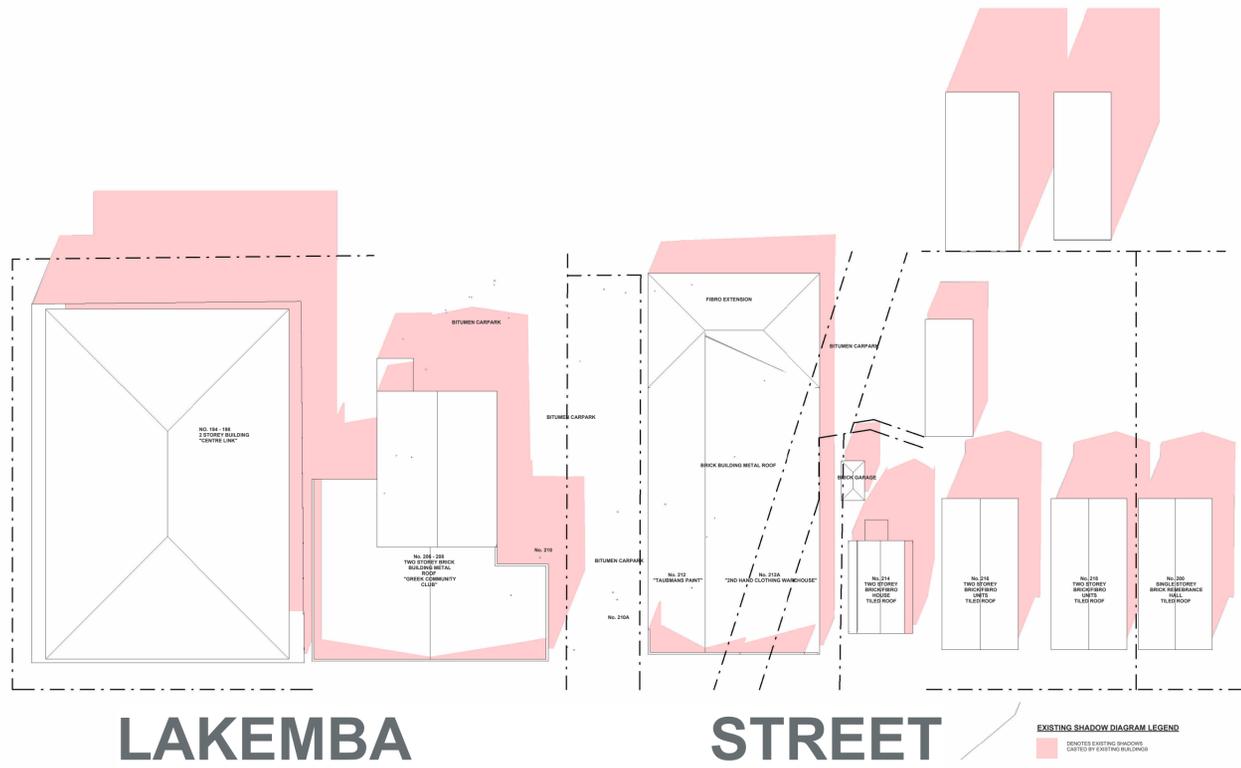


DRAWING NAME
EXISTING SHADOWS 21 JUNE 8am - 11am
 SCALE @ A1: 1 : 500
 SCALE @ A3:
 DRAWN: MG
 CHECKER: NK
 DATE: 15.07.2024
 JOB NO.

 DRAWING NO.
D033
 ISSUE:
D

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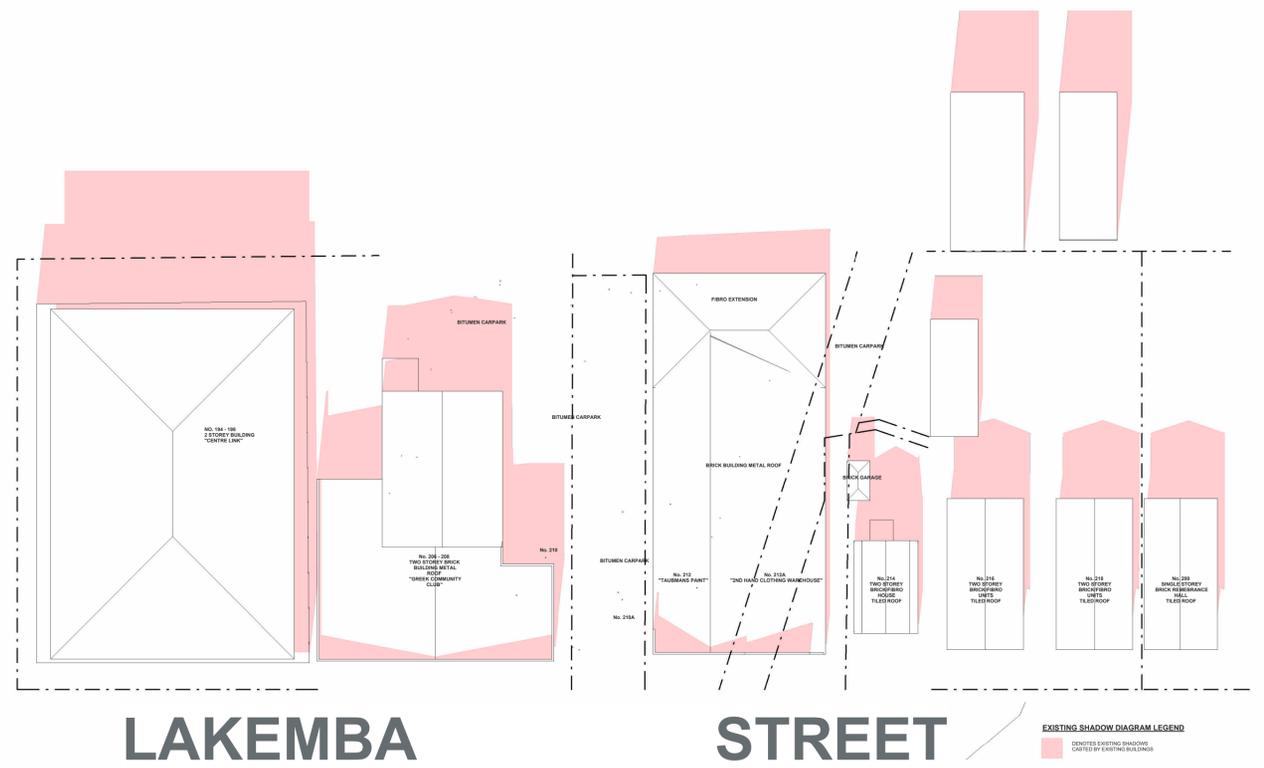


LAKEMBA

STREET

EXISTING SHADOW DIAGRAM LEGEND
 DENOTES EXISTING SHADOWS
 CAST BY EXISTING BUILDINGS

1 - EXISTING SHADOWS JUNE 21 12PM
 1 : 500

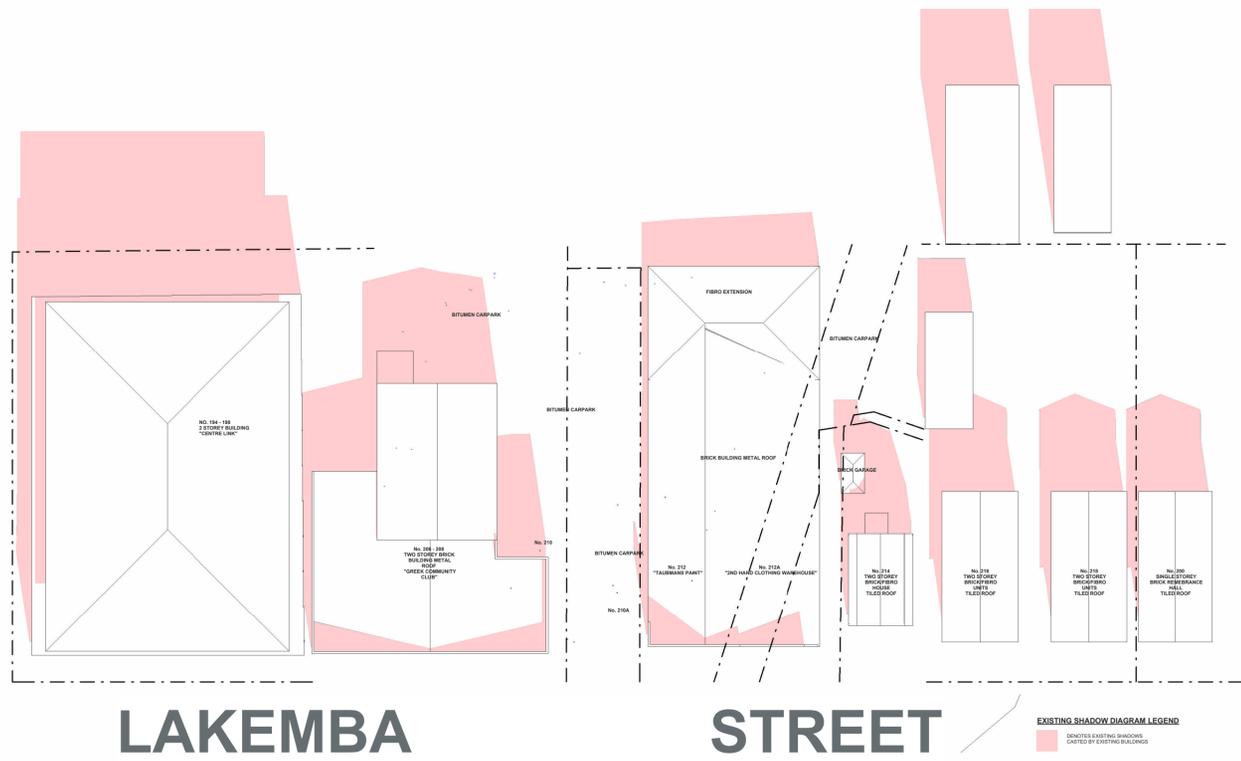


LAKEMBA

STREET

EXISTING SHADOW DIAGRAM LEGEND
 DENOTES EXISTING SHADOWS
 CAST BY EXISTING BUILDINGS

2 - EXISTING SHADOWS JUNE 21 1PM
 1 : 500

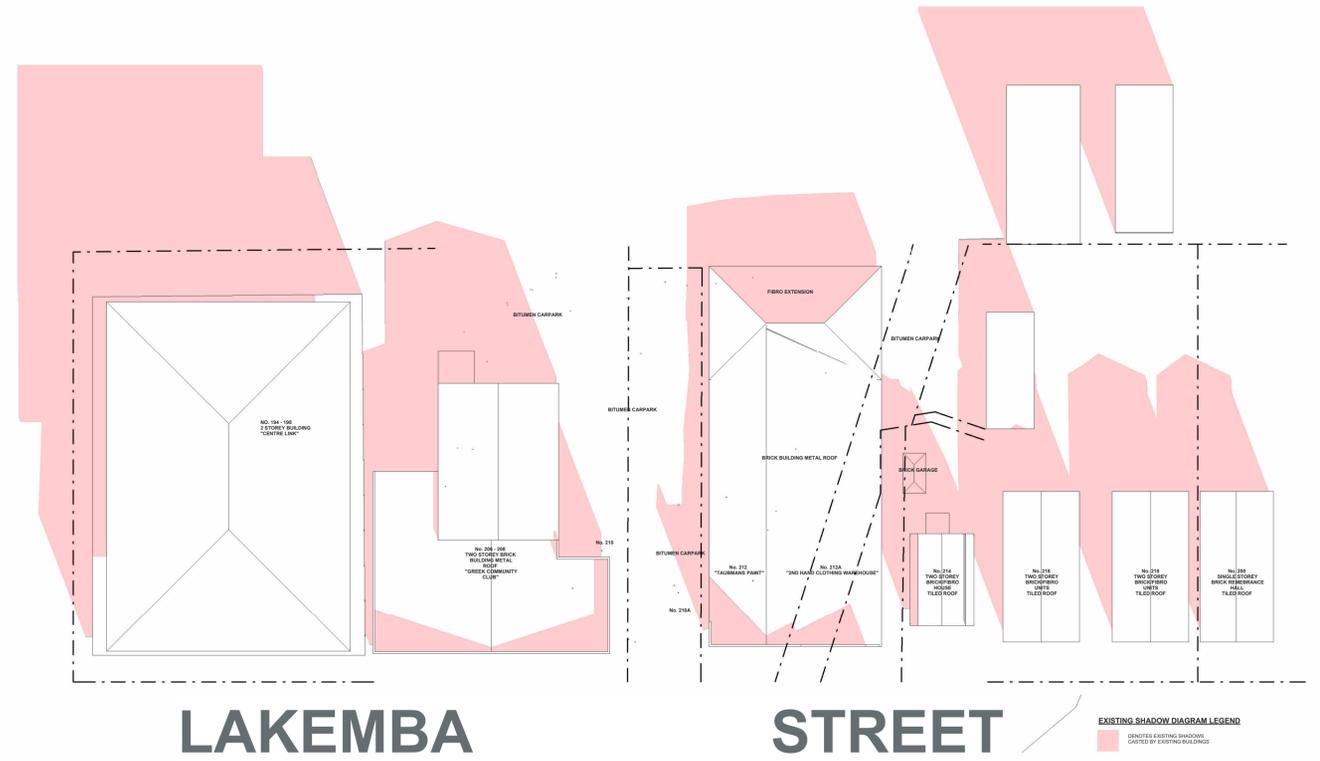


LAKEMBA

STREET

EXISTING SHADOW DIAGRAM LEGEND
 DENOTES EXISTING SHADOWS
 CAST BY EXISTING BUILDINGS

3 - EXISTING SHAD0OWS JUNE 21 2PM
 1 : 500



LAKEMBA

STREET

EXISTING SHADOW DIAGRAM LEGEND
 DENOTES EXISTING SHADOWS
 CAST BY EXISTING BUILDINGS

4 - EXISTING SHAD0OWS JUNE 21 3PM
 1 : 500

ARCHITECTURAL - GENERAL NOTES
 A1 All dimensions are to be confirmed on site by the builder/subcontractor, any inaccuracies must be reported to the Architect before commencement of any work.
 A2 The Subcontractor shall be held responsible for any construction details which have not been approved by the Architect.
 A3 In the event of encountering any discrepancies on these drawings, specification or subsequent instructions issued, the Builder/Subcontractor shall contact the Architect before proceeding further with any work.
 A4 The Subcontractor shall be held responsible for the safety of the whole building for a minimum period of two years after the date of practical completion.
 A5 All construction, control joints and expansion joints in the wall, floor, & other locations shall be in strict accordance with Architectural and/or Structural Engineering details. Negatives or breaks other than specified, are allowed without the written permission from the Architect and/or Engineer.
 A6 All construction, control joints and expansion joints in the wall, floor, & other locations shall be in strict accordance with Architectural and/or Structural Engineering details. Measurements must be taken on site and the work is completed.
 A7 Measurements for the fabrication of secondary components such as, windows, doors, internal frames, structural steel components and the like, are not to be taken from these documents. Measurements must be taken on site and the work is completed.
 A8 All structural components shall be in strict accordance to details and specifications as prepared by a structural engineer, and those details from part of the total specification.
 A9 All existing structures need to be examined for structural adequacy, and it is the Contractor's responsibility to ensure that a certificate of structural adequacy is available prior to the start of any work.
 A10 No construction work shall commence until a site survey has been completed. This work must be performed by a registered Surveyor.
 A11 Foundation set-out, to be performed by the Surveyor, must be in strict accordance with the approved plans and drawings.
 A12 All work must comply with the requirements of the Light Timber Framing Code of Practice, AS 1684, and the Structural Engineer's details and specifications.
 A13 Copyright of all documentation and designs relating to both Architectural and Structural Engineering, are retained by this office. Written authority is required for any reproduction.
 A14 All Architectural documentation to be read in conjunction with the Structural Engineer's details and specifications.
 A15 Comply with the 'reasonable market' clause of the specification.
 IMPORTANT NOTE: It is the Tenderer's and Contractor's responsibility to check that all Architectural, Structural and all other job related documentation has been received before tendering and/or construction. If any discrepancy is identified, the availability of such documents to the Architect should be notified before further details are needed. The Tenderer and/or Contractor shall obtain such details before signing of contract documents. Failure to adhere to these conditions, the Tenderer and/or Contractor nullifies any right of claim for extras, due to interpretation of documentation, and the Architect's Bill of Materials shall be deemed as final and correct.

DRAWN	DATE	ISSUE	AMENDMENT
NB	11.06.2024	A	RESPONSE TO COUNCIL RFI

PROJECT
206-214 Lakemba Street, Lakemba NSW

SADAD

CLIENT
Greek Orthodox Community of NSW

TRUE NORTH

DRAWING NAME
EXISTING SHADOWS 21 JUNE 12pm - 3pm

SCALE @ A1: 1 : 500
 SCALE @ A3:

DRAWN: MG
 CHECKER: NK
 DATE: 15.07.2024

JOB NO.

DRAWING NO.
D034

ISSUE:
D

Katris Architects Pty Ltd
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 ABN 79 001 639 970



LAKEMBA

STREET

EXISTING SHADOW DIAGRAM LEGEND
 ■ DENSEST EXISTING SHADOWS
 ■ CASTED BY EXISTING BUILDINGS

1 - EXISTING SHADOWS JUNE 21 4PM

1 : 500

ARCHITECTURAL - GENERAL NOTES
 A1 All dimensions are to be confirmed on site by the builder/subcontractor, any inaccuracies must be reported to the Architect before commencement of any work.
 A2 The Subcontractor shall be held responsible for any construction details which have not been approved by the Architect.
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 A7 Measurements for the fabrication of secondary components such as, windows, doors, internal frames, structural steel components and the like, are not to be taken from these documents. Measurements must be taken on site and the work is completed.
 A8 All structural components shall be in strict accordance to details and specifications as prepared by a structural engineer, and those details from part of the total specification.
 A9 All existing structures need to be examined for structural adequacy, and it is the Contractor's responsibility to ensure that a certificate of structural adequacy is available prior to the start of any work.
 A10 No construction work shall commence until a site survey has been completed. This work must be performed by a registered Surveyor.
 A11 Foundation set-out, to be performed by the Surveyor mentioned in A10 and recovery pegs must be protected during construction.
 A12 All timber work to comply with the requirements of the Light Timber Framing Code S.A.A. Codes and Structural Engineer's details and specification.
 A13 Copyright of all documentation and designs relating to both Architectural and Structural Engineering, are retained by this office. Written authority is required for any reproduction.
 A14 All Architectural documentation to be read in conjunction with the Structural Engineer's details and specification.
 A15 Comply with the 'hazardous materials' clause of the specification.
 IMPORTANT NOTE: It is the Tenderer's & Contractor's responsibility to check that all Architectural, Structural and all other job related documentation's have been received before tendering and/or construction may commence. Should there be any doubt to the availability of such documents to the Architect should be notified before further details be needed, the tenderer and/or Contractor shall obtain such details before signing of contract documents. Failure to adhere to these conditions, the Tenderer and/or Contractor nullifies any right or claim for extras, due to interpretation of documentation, and the Architect's &/or Engineer's direction shall be carried out at the tenderer's cost.

DRAWN	DATE	ISSUE	AMENDMENT
NB	11.06.2024	A	RESPONSE TO COUNCIL RFI

PROJECT
206-214 Lakemba Street, Lakemba NSW

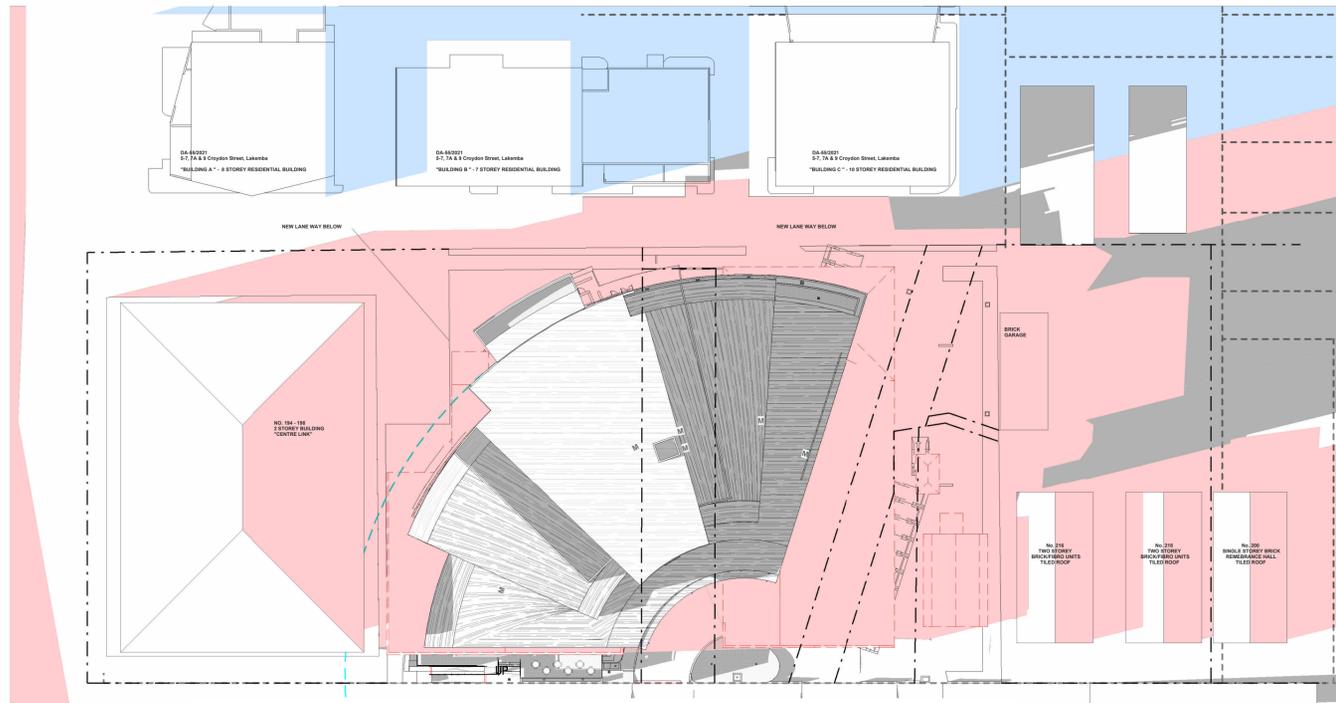
SADAD

CLIENT
Greek Orthodox Community of NSW

TRUE NORTH

DRAWING NAME		
EXISTING SHADOWS 21 JUNE 4pm		
SCALE @ A1: 1 : 500	DRAWN: MG	DATE: 15.07.2024
SCALE @ A3:	CHECKER: NK	
JOB NO.	DRAWING NO.	ISSUE:
--	D035	D

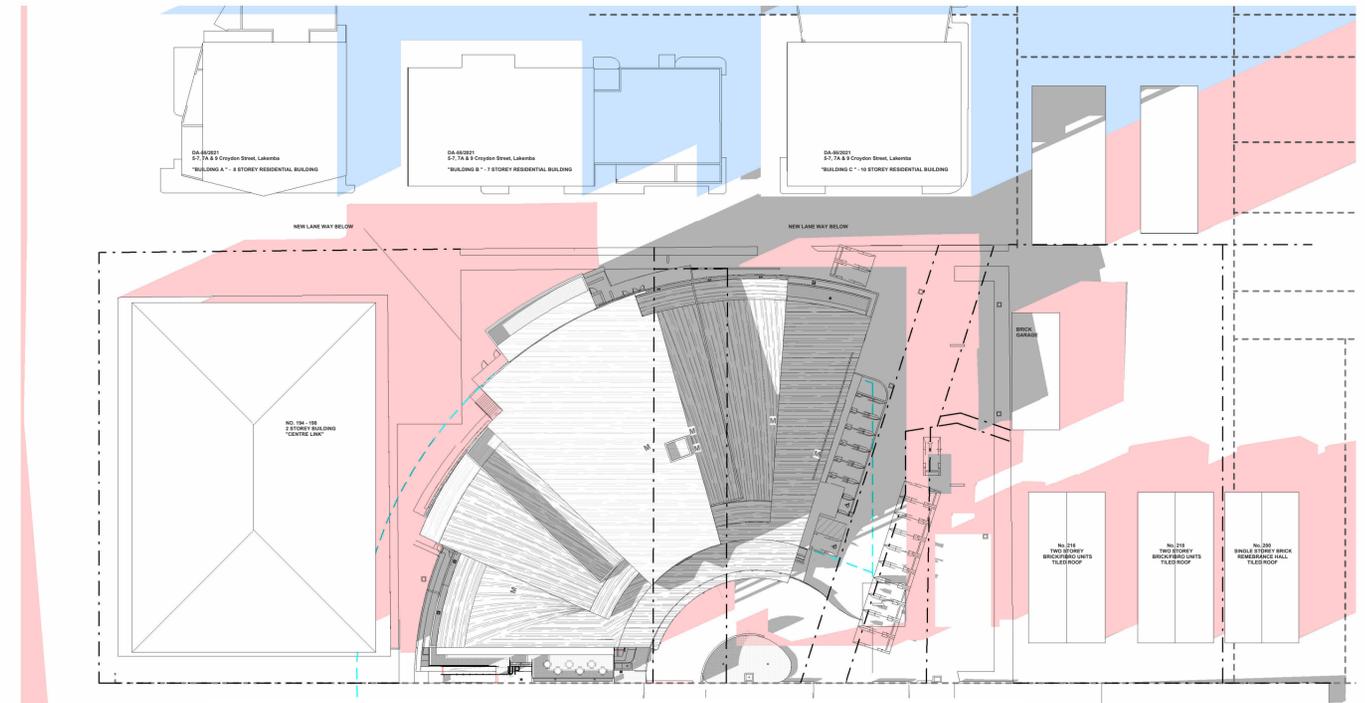
Katris Architects Pty Ltd
 Nominated Architects: Chris Katris (Reg 9724), Nick Katris (Reg 3878), Peter Katris (Reg 4569)
 Level 1, Suite 2, 28-30 Burwood Road, Burwood NSW 2134
 PO Box 703 Burwood 1805 NSW Australia
 P 02 9744 5421 F 02 9747 5046
 www.katris.com.au
 ABN 79 001 639 970



LAKEMBA STREET

PROPOSED SHADOW DIAGRAM LEGEND
 ■ DENOTES EXISTING SHADOWS CAST BY EXISTING BUILDINGS
 ■ DENOTES PROPOSED SHADOWS CAST BY PROPOSED BUILDINGS AT NO. 106-108 LAKEMBA STREET, LAKEMBA NSW
 ■ DENOTES PROPOSED SHADOWS CAST BY PROPOSED NEIGHBOURING DA 800271

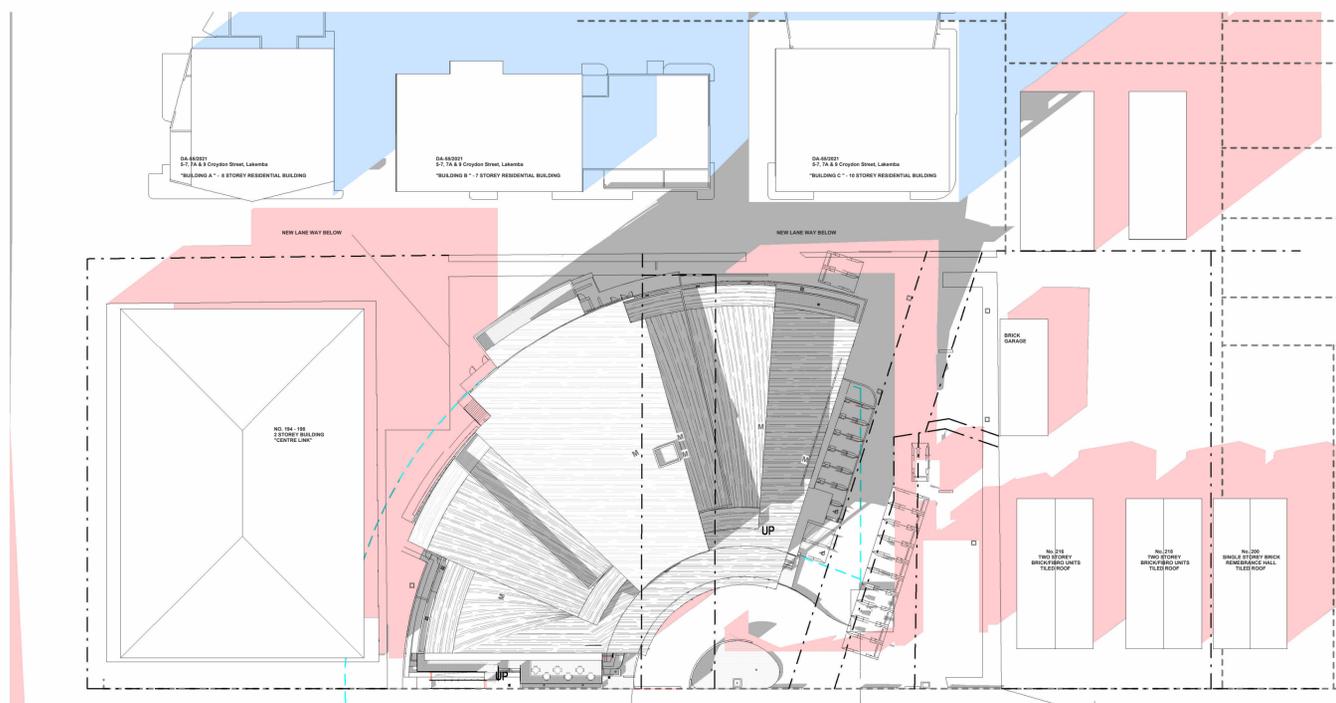
1 - PROPOSED SHADOWS SHADOWS JUNE 21 8AM
 1 : 500



LAKEMBA STREET

PROPOSED SHADOW DIAGRAM LEGEND
 ■ DENOTES EXISTING SHADOWS CAST BY EXISTING BUILDINGS
 ■ DENOTES PROPOSED SHADOWS CAST BY PROPOSED BUILDINGS AT NO. 106-108 LAKEMBA STREET, LAKEMBA NSW
 ■ DENOTES PROPOSED SHADOWS CAST BY PROPOSED NEIGHBOURING DA 800271

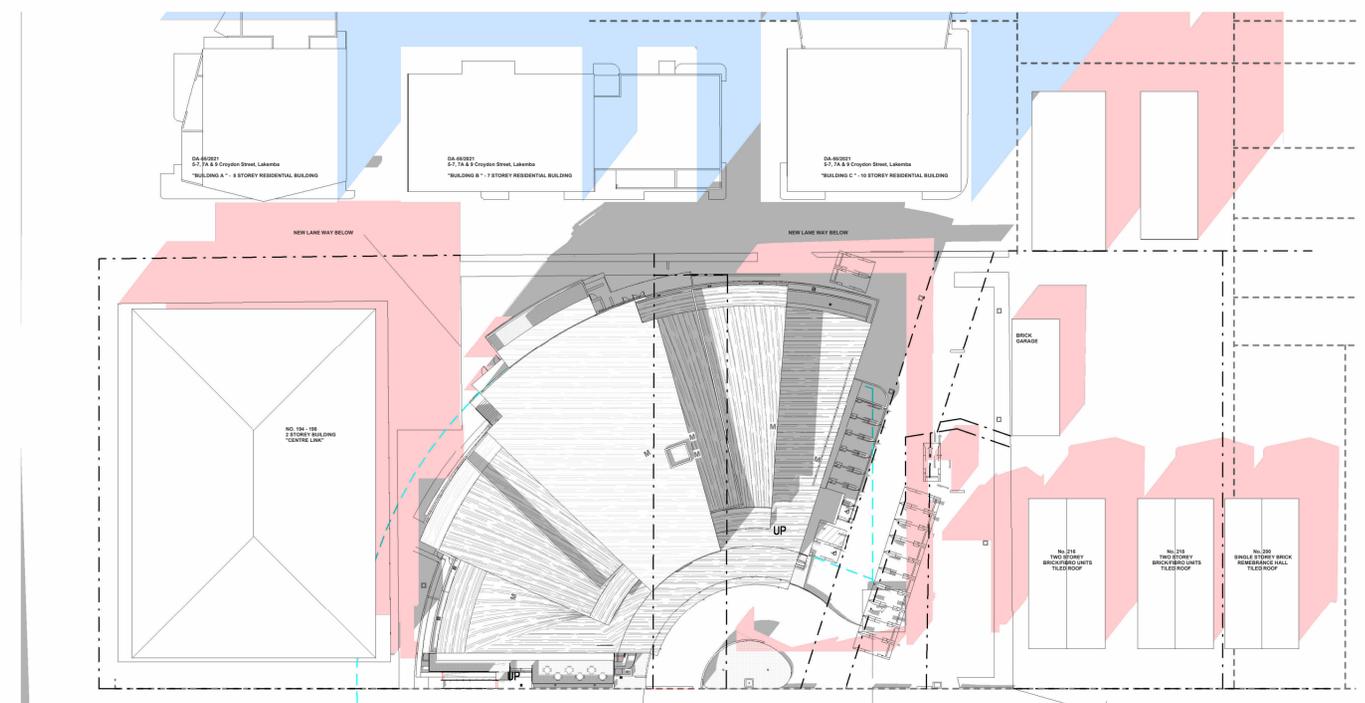
2 - PROPOSED SHADOWS SHADOWS JUNE 21 9AM
 1 : 500



LAKEMBA STREET

PROPOSED SHADOW DIAGRAM LEGEND
 ■ DENOTES EXISTING SHADOWS CAST BY EXISTING BUILDINGS
 ■ DENOTES PROPOSED SHADOWS CAST BY PROPOSED BUILDINGS AT NO. 106-108 LAKEMBA STREET, LAKEMBA NSW
 ■ DENOTES PROPOSED SHADOWS CAST BY PROPOSED NEIGHBOURING DA 800271

3 - PROPOSED SHADOWS SHADOWS JUNE 21 10AM
 1 : 500



LAKEMBA STREET

PROPOSED SHADOW DIAGRAM LEGEND
 ■ DENOTES EXISTING SHADOWS CAST BY EXISTING BUILDINGS
 ■ DENOTES PROPOSED SHADOWS CAST BY PROPOSED BUILDINGS AT NO. 106-108 LAKEMBA STREET, LAKEMBA NSW
 ■ DENOTES PROPOSED SHADOWS CAST BY PROPOSED NEIGHBOURING DA 800271

4 - PROPOSED SHADOWS SHADOWS JUNE 21 11AM
 1 : 500

ARCHITECTURAL - GENERAL NOTES
 A1 All dimensions are to be confirmed on site by the builder/subcontractor, any inaccuracies must be reported to the Architect before commencement of any work.
 A2 The Subcontractor shall be held responsible for any construction details which have not been approved by the Architect.
 A3 In the event of encountering any discrepancies on these drawings, specification or subsequent instructions issued, the Builder/Subcontractor shall contact the Architect before proceeding further with any work.
 A4 The Subcontractor shall be held responsible for the safety of the whole building for a minimum period of two years after the date of practical completion.
 A5 It is the contractor's responsibility to have all Architectural & Structural documentation, including all site instructions any any details issued during the course of construction, approved by the relevant authorities including the Local Council & the Water Board before any work is proceeded with.
 A6 All construction, control joints and expansion joints in the wall, floors, & other locations shall be in strict accordance with Architectural and/or Structural Engineering details. Negatives or breaks other than specified, are allowed without further permission from the Architect and/or Engineer.
 A7 Measurements for the fabrication of secondary components such as, windows, doors, internal frames, structural steel components and the like, are not to be taken from these documents. Measurements must be taken on site when construction.
 A8 All structural components shall be in strict accordance to details and specifications as prepared by a structural engineer, and those details from part of the final specification.
 A9 All existing structures need to be examined for structural adequacy, and it is the Contractor's responsibility to ensure that a certificate of structural adequacy is available prior to the start of any work.
 A10 No construction work shall commence until a site survey has been completed. This work must be performed by a registered Surveyor.
 A11 Foundation set-out, to be performed by the Surveyor mentioned in A10 and recovery must be provided during construction.
 A12 All tender work to comply with the requirements of the Light Timber Framing Code of Practice, AS 4600, and Structural Engineer's details and specifications.
 A13 Copyrights of all documentation and designs relating to both Architectural and Structural Engineering, are retained by this office. Written authority is required for any reproduction.
 A14 All Architectural documentation to be read in conjunction with the Structural Engineer's details and specification.
 A15 Comply with the 'hazardous materials' clause of the specification.
 IMPORTANT NOTE: It is the Tenderer's & Contractor's responsibility to check that all Architectural, Structural and all other job related documentation has been received before tendering and/or construction may commence. Should there be any doubt to the availability of such documents the Architect should be notified before further details are needed, the tenderer and/or Contractor shall obtain such details before signing of contract documents. Failure to adhere to these conditions, the Tenderer and/or Contractor nullifies any right of claim for extras, due to interpretation of documentation, and the Architect's &/or Engineer's direction shall be carried out at the tenderer's cost.

DRAWN DATE ISSUE AMENDMENT
 NB 11.06.2024 A RESPONSE TO COUNCIL RFI

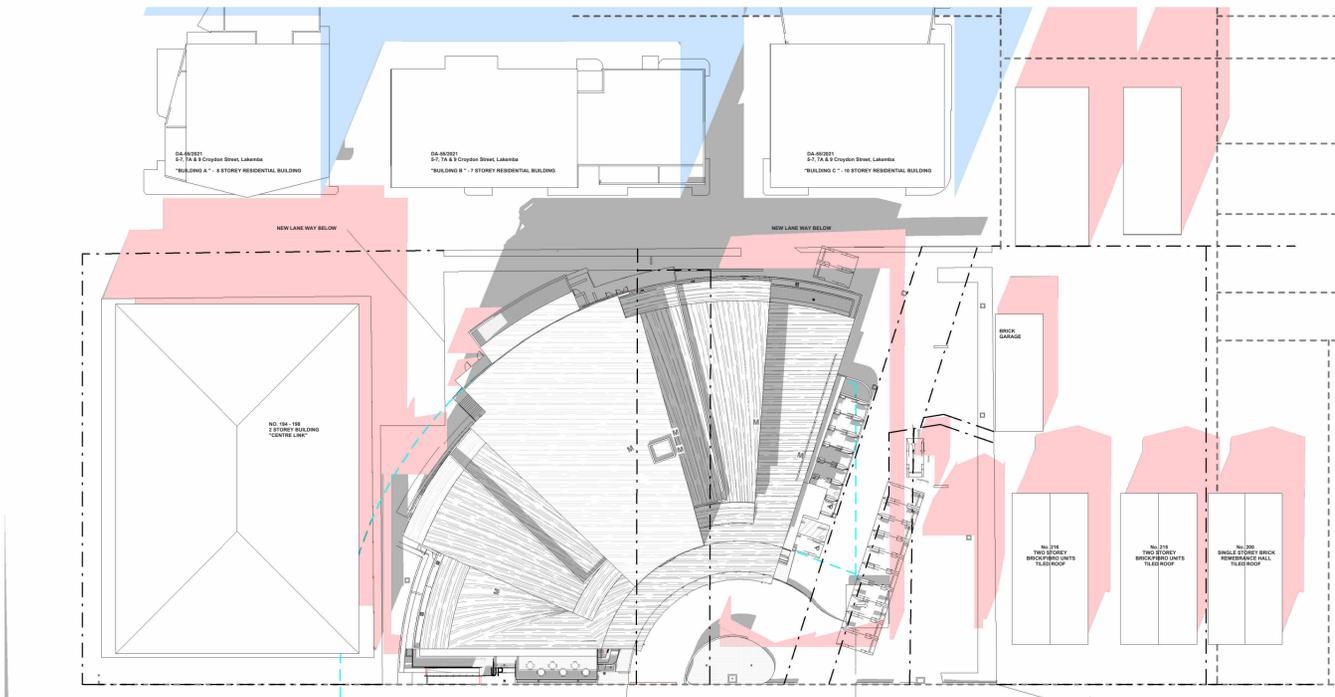
PROJECT
206-214 Lakemba Street, Lakemba NSW
 SADAD
CLIENT
Greek Orthodox Community of NSW

DRAWING NAME
PROPOSED SHADOWS 21 JUNE 8AM - 11AM
 SCALE @ A1: 1 : 500
 SCALE @ A3:
 TRUE NORTH
 JOB NO. --
 DRAWING NO. **D036**
 ISSUE: **D**

DRAWING NAME
PROPOSED SHADOWS 21 JUNE 8AM - 11AM
 SCALE @ A1: 1 : 500
 SCALE @ A3:
 DRAWN: **MG**
 CHECKER: **NK**
 DATE: **15.07.2024**
 JOB NO. --
 DRAWING NO. **D036**
 ISSUE: **D**

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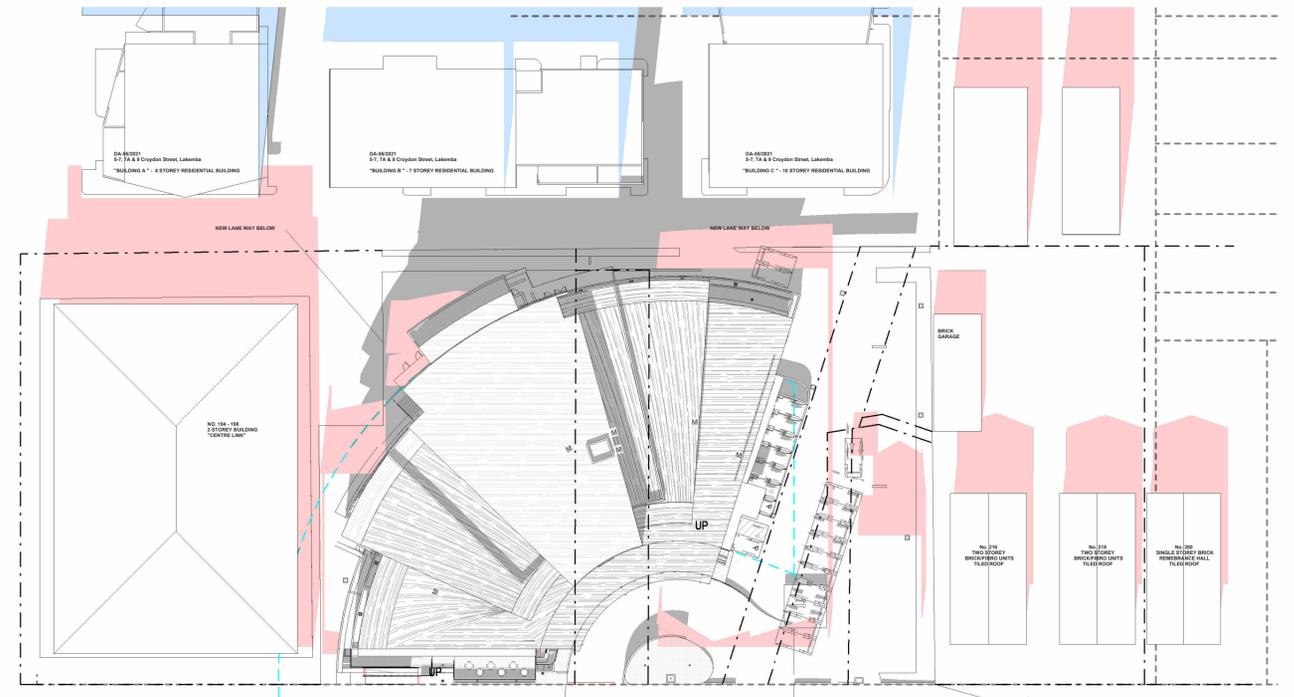




LAKEMBA STREET

PROPOSED SHADOW DIAGRAM LEGEND
 DENOTES EXISTING SHADOWS CAST BY EXISTING BUILDINGS
 DENOTES PROPOSED SHADOWS CAST BY PROPOSED BUILDINGS AT NO 206-214 LAKEMBA STREET, LAKEMBA NSW
 DENOTES PROPOSED SHADOW CAST BY PROPOSED BUILDINGS AT NO 206-214 LAKEMBA STREET

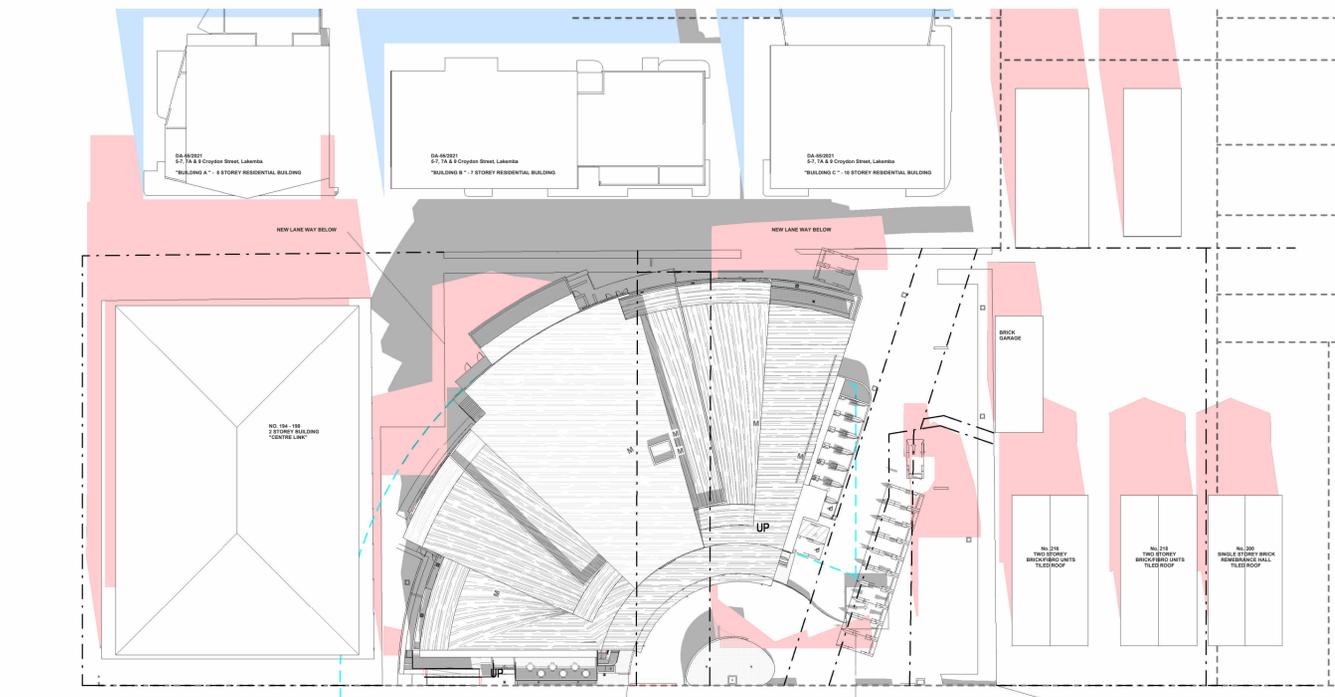
1 - PROPOSED SHADOWS SHADOWS JUNE 21 12PM
 1 : 500



LAKEMBA STREET

PROPOSED SHADOW DIAGRAM LEGEND
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 DENOTES PROPOSED SHADOWS CAST BY PROPOSED BUILDINGS AT NO 206-214 LAKEMBA STREET, LAKEMBA NSW
 DENOTES PROPOSED SHADOW CAST BY PROPOSED BUILDINGS AT NO 206-214 LAKEMBA STREET

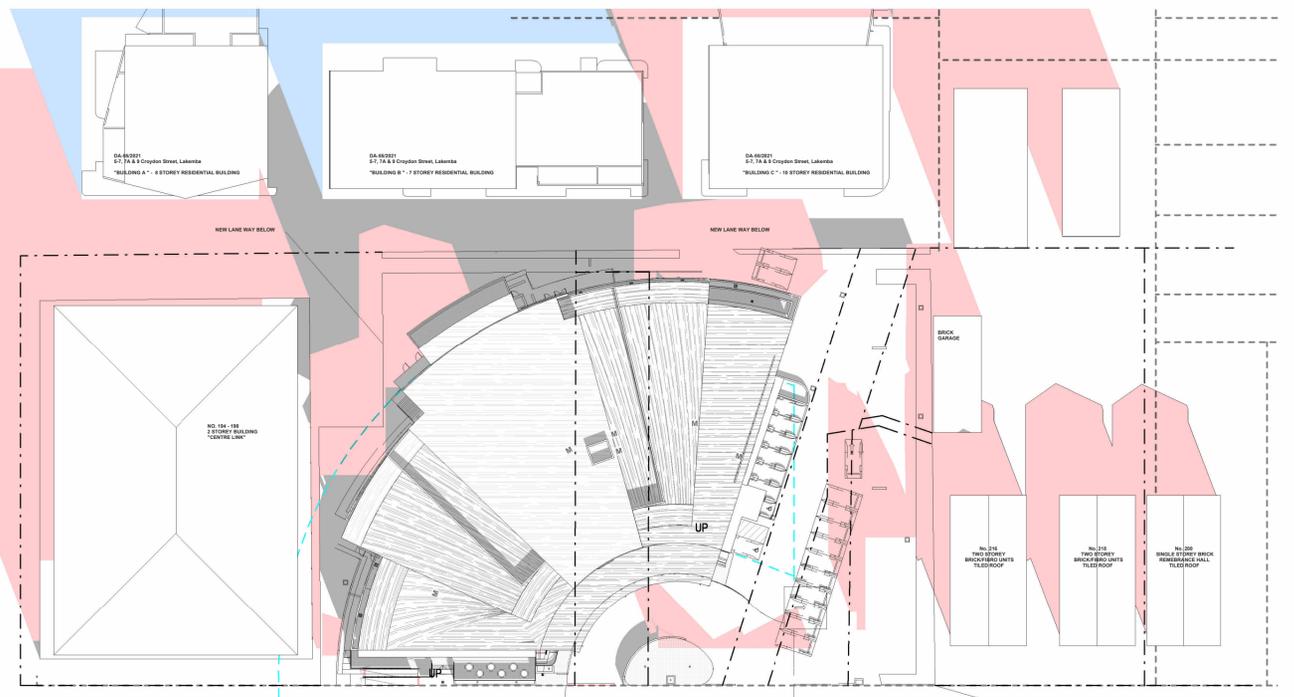
2 - PROPOSED SHADOWS SHADOWS JUNE 21 1PM
 1 : 500



LAKEMBA STREET

PROPOSED SHADOW DIAGRAM LEGEND
 DENOTES EXISTING SHADOWS CAST BY EXISTING BUILDINGS
 DENOTES PROPOSED SHADOWS CAST BY PROPOSED BUILDINGS AT NO 206-214 LAKEMBA STREET, LAKEMBA NSW
 DENOTES PROPOSED SHADOW CAST BY PROPOSED BUILDINGS AT NO 206-214 LAKEMBA STREET

3 - PROPOSED SHADOWS SHADOWS JUNE 21 2PM
 1 : 500



LAKEMBA STREET

PROPOSED SHADOW DIAGRAM LEGEND
 DENOTES EXISTING SHADOWS CAST BY EXISTING BUILDINGS
 DENOTES PROPOSED SHADOWS CAST BY PROPOSED BUILDINGS AT NO 206-214 LAKEMBA STREET, LAKEMBA NSW
 DENOTES PROPOSED SHADOW CAST BY PROPOSED BUILDINGS AT NO 206-214 LAKEMBA STREET

4 - PROPOSED SHADOWS SHADOWS JUNE 21 3PM
 1 : 500

ARCHITECTURAL - GENERAL NOTES
 A1 All dimensions are to be confirmed on site by the builder/subcontractor, any discrepancies must be reported to the Architect before commencement of any work.
 A2 The Subcontractor shall be held responsible for any construction details which have not been approved by the Architect.
 A3 In the event of encountering any discrepancies on these drawings, specification or subsequent instructions issued, the Builder/Subcontractor shall contact the Architect before proceeding further with any work.
 A4 The Subcontractor shall be held responsible for the strengthening of the brick building for a minimum period of two years after the date of practical completion.
 A5 It is the contractor's responsibility to have all Architectural & Structural documentation, including all site instructions any any details issued during the course of construction, approved by the relevant authorities including the local Council & the Water Services Corporation.
 A6 All construction, control joints and expansion joints in the wall, floor, & other locations shall be in strict accordance with Architectural and/or Structural Engineering details and specifications, unless otherwise specified, are allowed without written permission from the Architect and/or Engineer.
 A7 Measurements for the fabrication of secondary components such as, windows, doors, internal frames, structural steel components and the like, are not to be taken from these documents. Measurements must be taken on site and on construction.
 A8 All structural components shall be in strict accordance to details and specifications as prepared by a structural engineer, and those details from part of the final specification.
 A9 All existing structures need to be examined for structural adequacy, and it is the Contractor's responsibility to ensure that a certificate of structural adequacy is available prior to the start of any work.
 A10 No construction work shall commence until a site safety has been completed. This work must be performed by a registered Surveyor.
 A11 Foundation set-out, to be performed by the Surveyor mentioned in A10 and recovery pegs must be provided during construction.
 A12 All timber work to comply with the requirements of the Light Timber Framing Code S.A.A. Codes and Structural Engineer's details and specifications.
 A13 Copyright of all documentation and designs relating to both Architectural and Structural Engineering, are retained by this office. Written authority is required for any reproduction.
 A14 All Architectural documentation to be read in conjunction with the Structural Engineer's details and specifications.
 A15 Comply with the 'deposited material' clause of the specification.
 IMPORTANT NOTE: It is the Tenderer's & Contractor's responsibility to check that all Architectural, Structural and all other job related documentation has been received before tendering and/or construction may commence. Should there be any doubt as to the availability of such documents the Architect should be notified before further details are needed, the tenderer and/or Contractor shall obtain such details before signing of contract documents. Failure to adhere to these conditions, the Tenderer and/or Contractor nullifies any right of claim for extras, due to interpretation of documentation, and the Architect's Bill of Materials shall be carried out at the contractor's cost.

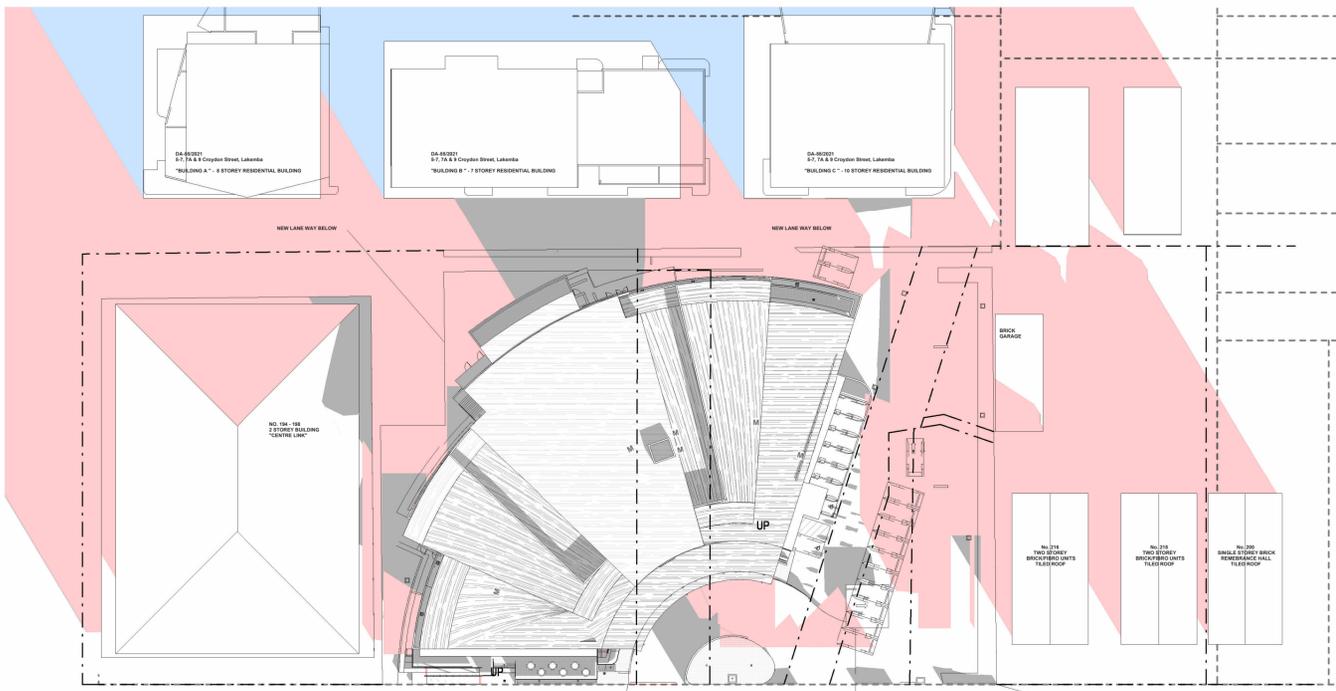
DRAWN	DATE	ISSUE	AMENDMENT
NB	11.06.2024	A	RESPONSE TO COUNCIL RFI

PROJECT
206-214 Lakemba Street, Lakemba NSW
 SADAD
 CLIENT
Greek Orthodox Community of NSW



DRAWING NAME
PROPOSED SHADOWS 21 JUNE 12PM - 3PM
 SCALE @ A1: 1 : 500
 SCALE @ A3:
 DRAWN: MG
 CHECKER: NK
 DATE: 15.07.2024
 JOB NO.
 --
 DRAWING NO.
D037
 ISSUE:
D

Katris Architects Pty Ltd
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 P 02 9744 5421 F 02 9747 5046
 www.katris.com.au
 ABN 79 001 639 970



LAKEMBA STREET

PROPOSED SHADOW DIAGRAM LEGEND

- DOTTED EXISTING SHADOWS CAST BY EXISTING BUILDINGS
- SOLID GREY PROPOSED SHADOWS CAST BY PROPOSED BUILDING AT 206-214 LAKEMBA STREET, LAKEMBA NSW
- - - DASHED PROPOSED SHADOW CAST BY PROPOSED NEIGHBOURING DA-55301

1 - PROPOSED SHADOWS SHADOWS JUNE 21 4PM
1 : 500

ARCHITECTURAL - GENERAL NOTES

A1 All dimensions are to be confirmed on site by the builder/subcontractor, any inaccuracies must be reported to the Architect before commencement of any work.

A2 The Subcontractor shall be held responsible for any construction details which have not been approved by the Architect.

A3 In the event of encountering any discrepancies on these drawings, specification or subsequent instructions issued, the Builder/Subcontractor shall contact the Architect before proceeding further with any work.

A4 The Subcontractor shall be held responsible for the water-tightness of the whole building for a minimum period of two years after the date of practical completion.

A5 It is the contractor's responsibility to have all Architectural & Structural documentation, including all site instructions any any details issued during the course of construction, approved by the relevant authorities including the local Council & the Water Board before any work may be proceeded with.

A6 All construction, control joints and expansion joints in the wall, floors, & other locations shall be in strict accordance with Architectural and/or Structural Engineering details. Negatives or breaks other than specified, are allowed without written permission from the Architect and/or Engineer.

A7 Measurements for the fabrication of secondary components such as, windows, doors, internal frames, structural steel components and the like, are not to be taken from these documents. Measurements must be taken on site and the work is completed.

A8 All structural components shall be in strict accordance to details and specifications as prepared by a structural engineer, and those details from part of the total specification.

A9 All existing structures need to be examined for structural adequacy, and it is the Contractor's responsibility to ensure that a certificate of structural adequacy is available prior to the start of any work.

A10 No construction work shall commence until a site survey has been completed. This work must be performed by a registered Surveyor.

A11 Foundation set-out, to be performed by the Surveyor mentioned in A10 and recovery pegs must be protected during construction.

A12 All timber work is to comply with the requirements of the Light Timber Framing Code of A.S.A. Codes and Structural Engineer's details and specification.

A13 Copyright of all documentation and designs relating to both Architectural and Structural Engineering, are retained by this office. Written authority is required for any reproduction.

A14 All Architectural documentation to be read in conjunction with the Structural Engineer's details and specification.

A15 Comply with the 'hazardous materials' clause of the specification.

IMPORTANT NOTE: It is the Tenderer's & Contractor's responsibility to check that all Architectural, Structural and all other job related documentation's have been received before tendering and/or construction may commence. Should there be any doubts to the availability of such documents to the Architect should be notified before further details be needed, the tenderer and/or Contractor shall obtain such details before signing of contract documents. Failure to adhere to these conditions, the Tenderer and/or Contractor nullifies any right or claim for extras, due to interpretation of documentation, and the Architect's &/or Engineer's direction shall be carried out at the tenderer's cost.

DRAWN	DATE	ISSUE	AMENDMENT
NB	11.06.2024	A	RESPONSE TO COUNCIL RFI

PROJECT

206-214 Lakemba Street, Lakemba NSW

SADAD

CLIENT

Greek Orthodox Community of NSW



DRAWING NAME		
PROPOSED SHADOWS 21 JUNE 4PM		
SCALE @ A1: 1 : 500	DRAWN: MG	DATE: 15.07.2024
SCALE @ A3:	CHECKER: NK	
JOB NO.	DRAWING NO.	ISSUE:
--	D038	D

Katris Architects Pty Ltd

Nominated Architects: Chris Katris (Reg 9724), Nick Katris (Reg 3878), Peter Katris (Reg 4569)

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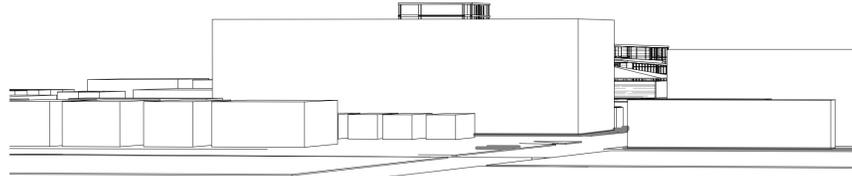
PO Box 703 Burwood 1805 NSW Australia

P 02 9744 5421 F 02 9747 5046

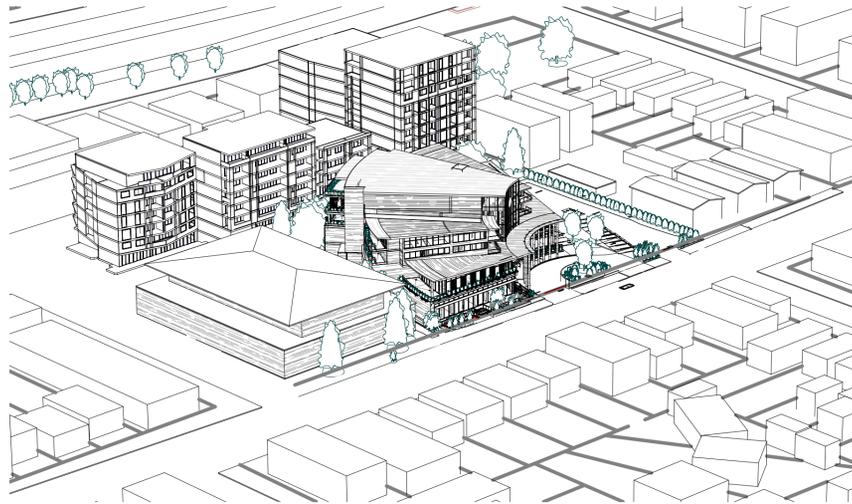
www.katris.com.au

ABN 79 001 639 970

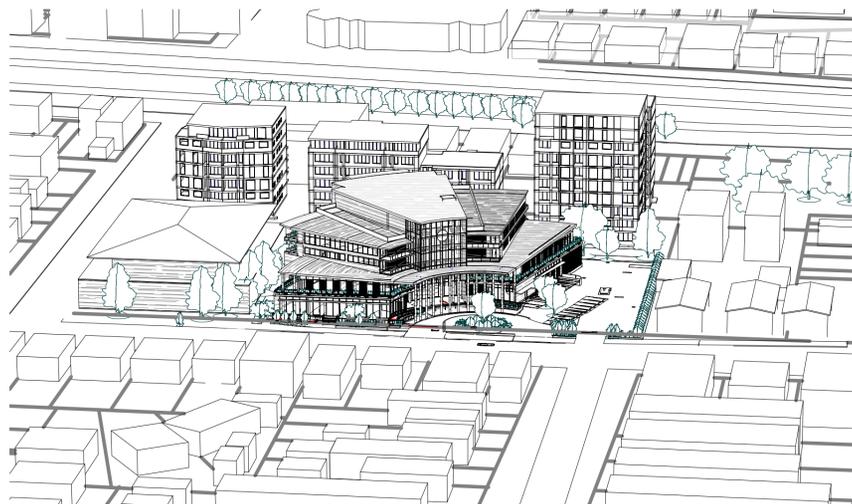




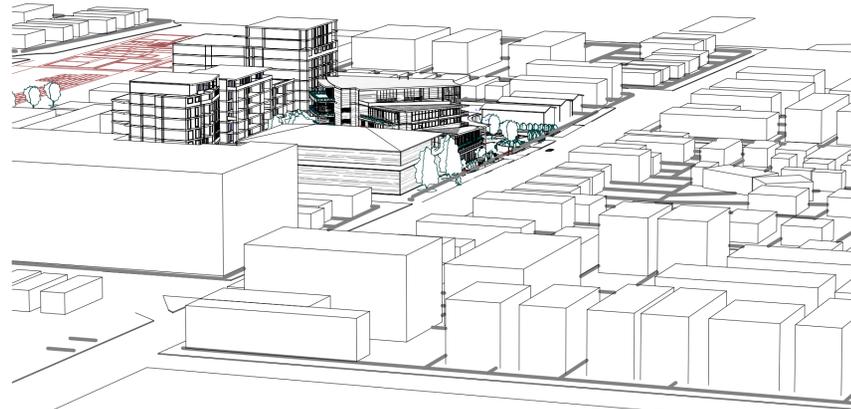
1 VIEWS FROM THE SUN 8 AM



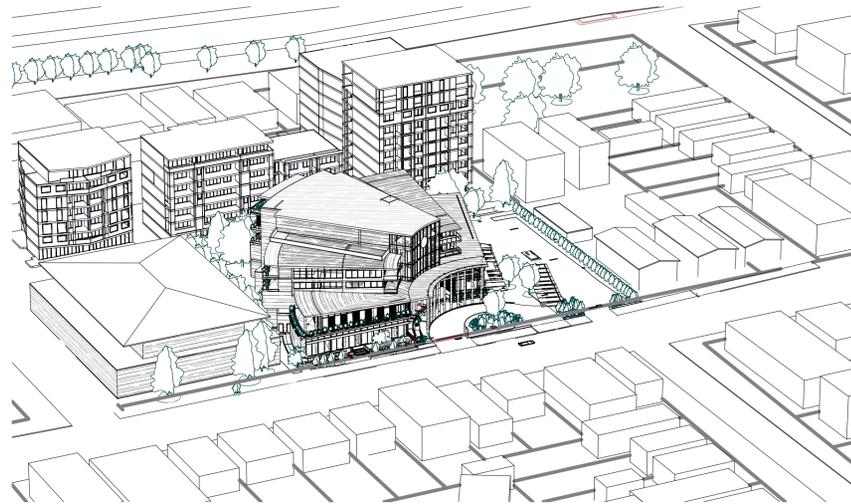
4 VIEWS FROM THE SUN 11AM



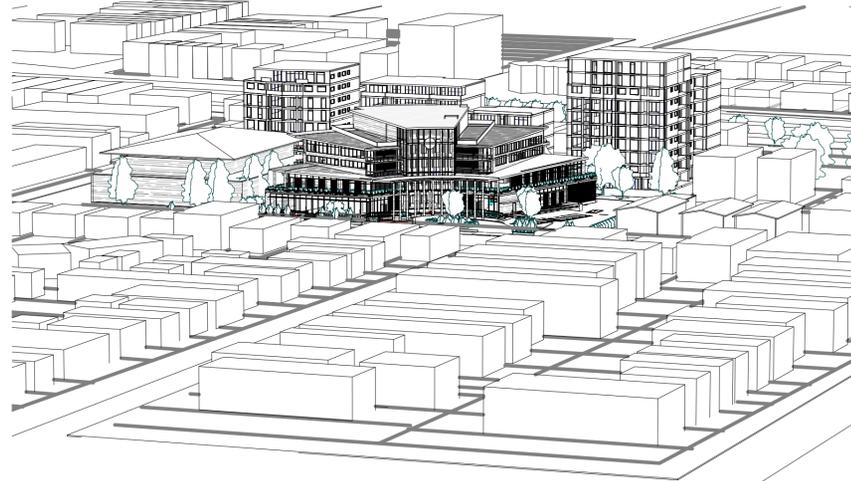
7 VIEWS FROM THE SUN 2PM



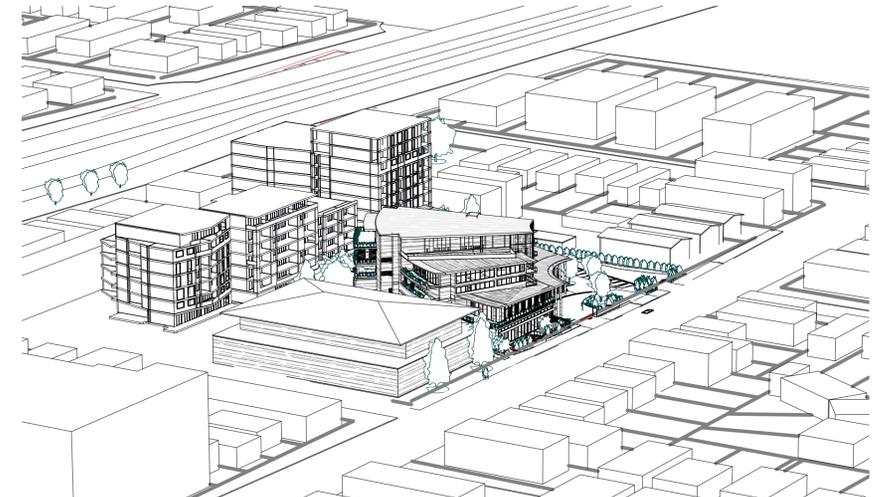
2 VIEWS FROM THE SUN 9 AM



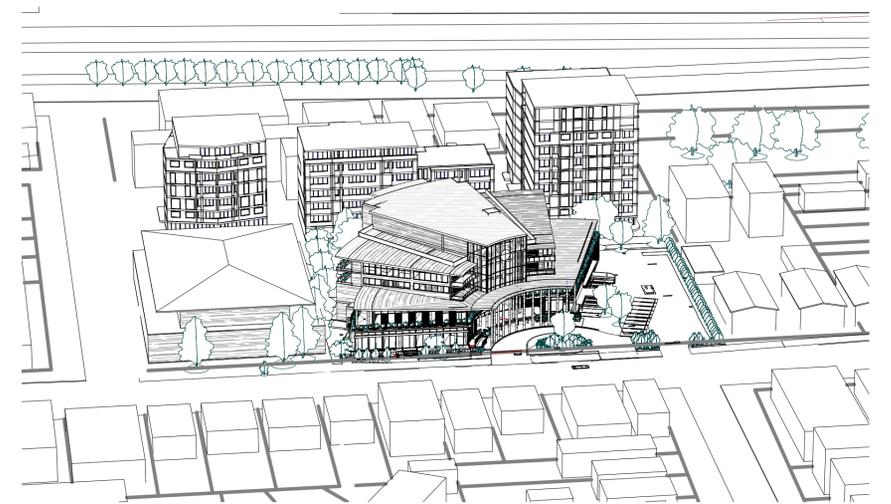
5 VIEWS FROM THE SUN 12PM



8 VIEWS FROM THE SUN 3PM



3 VIEW FORM THE SUN 10AM



6 VIEWS FROM THE SUN 1PM



9 VIEWS FROM THE SUN 4PM

ARCHITECTURAL - GENERAL NOTES

A1 All dimensions are to be confirmed on site by the builder/subcontractor, any incongruities must be reported to the Architect before commencement of any work.
 A2 The Subcontractor shall be held responsible for any construction details which have not been approved by the Architect.
 A3 In the event of encountering any discrepancies on these drawings, specification or subsequent instructions issued, the Builder/Subcontractor shall contact the Architect before proceeding further with any work.
 A4 The Builder/Subcontractor shall be held responsible for the extinguishment of the whole building for a minimum period of two years after the date of practical completion.
 A5 It is the contractor's responsibility to have all Architectural & Structural documentation, including all site instructions any any details issued during the course of construction, approved by the relevant authorities including the local Council & the Water Board before any work is proceeded with.
 A6 All construction, control joints and expansion joints in the wall, floor, & other locations shall be in strict accordance with Architectural and/or Structural Engineering details. Neglects or breaches other than specified, are allowed without permission from the Architect and/or Engineer.
 A7 Measurements for the fabrication of secondary components such as, windows, doors, internal frames, structural steel components and the like, are not to be taken from these documents. Measurements must be taken on site as and when required.
 A8 All structural components shall be in strict accordance to details and specifications as prepared by a structural engineer, and those details from part of the total specification.
 A9 All existing structures need to be examined for structural adequacy, and it is the Contractor's responsibility to ensure that a certificate of structural adequacy is available prior to the start of any work.
 A10 No construction work shall commence until a site survey has been completed. This work must be performed by a registered Surveyor.
 A11 Foundation set-out, to be performed by the Surveyor, measured in ASCE and recovery pegs must be provided during construction.
 A12 All timber work to comply with the requirements of the Light Timber Framing Code S.A.A. Codes and Structural Engineer's details and specification.
 A13 Copyrights of all documentation and designs relating to both Architectural and Structural Engineering, are retained by this office. Written authority is required for any reproduction.
 A14 All Architectural documentation to be read in conjunction with the Structural Engineer's details and specification.
 A15 Comply with the "hazardous material" clause of the specification.
 IMPORTANT NOTE: It is the Tenderer's & Contractor's responsibility to check that all Architectural, Structural and all other job related documentation's have been received before tendering and/or construction, and commence. Should there be any doubt to the availability of such documents the Architect should be notified before further details be needed, the tenderer and/or Contractor shall obtain such details before signing of contract documents. Failure to adhere to these conditions, the Tenderer and/or Contractor nullifies any right or claim for extras, due to interpretation of documentation, and the Architect's &/or Engineer's direction shall be carried out at the contractor's cost.

DRAWN DATE ISSUE AMENDMENT

NB 11.06.2024 A RESPONSE TO COUNCIL RFI

PROJECT

206-214 Lakemba Street, Lakemba NSW

SADAD

CLIENT

Greek Orthodox Community of NSW

TRUE NORTH



DRAWING NAME

PROPOSED SHADOWS 21 JUNE VIEWS FORM THE SUN 8AM - 4PM

SCALE @ A1:

DRAWN: MG

SCALE @ A3:

CHECKER: NK

DATE: 15.07.2024

JOB NO.

--

DRAWING NO.

D039

ISSUE:

D

Katris Architects Pty Ltd

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ABN 79 001 639 970



"BUILDING A " "BUILDING B " "BUILDING C "



1 JUNE 21 - 0900

"BUILDING A " "BUILDING B " "BUILDING C "



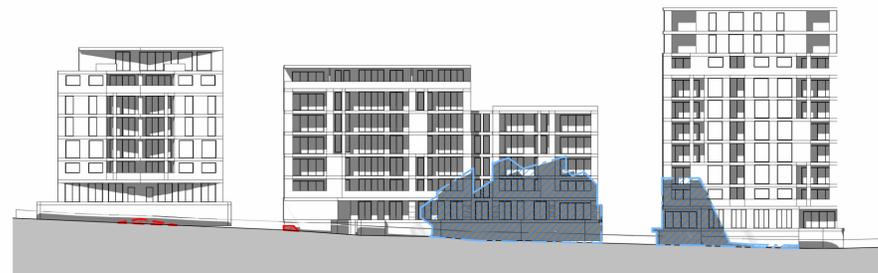
2 JUNE 21 - 1000

"BUILDING A " "BUILDING B " "BUILDING C "



3 JUNE 21 - 1100

"BUILDING A " "BUILDING B " "BUILDING C "



4 JUNE 21 - 1200

"BUILDING A " "BUILDING B " "BUILDING C "



5 JUNE 21 - 1300

"BUILDING A " "BUILDING B " "BUILDING C "



6 JUNE 21 - 1400

"BUILDING A " "BUILDING B " "BUILDING C "



7 JUNE 21 - 1500

"BUILDING A " "BUILDING B " "BUILDING C "



8 JUNE 21 - 1600

"BUILDING A " "BUILDING B " "BUILDING C "



9 JUNE 21 - 1700

LEGEND

-  EXISTING SHADOW OUTLINE
-  OVERSHADOWING CAUSED BY PROPOSED
-  SHADOW OF BUILDING A, B & C

ARCHITECTURAL - GENERAL NOTES

A1 All dimensions are to be confirmed on site by the builder/subcontractor, any inaccuracies must be reported to the Architect before commencement of any work.

A2 The Subcontractor will be held responsible for any construction details which have not been approved by the Architect.

A3 In the event of encountering any discrepancies on these drawings, specification or subsequent instructions issued, the Builder/Subcontractor shall contact the Architect before proceeding further with any work.

A4 The Subcontractor will be held responsible for the safety of the whole building for a minimum period of two years after the date of practical completion.

A5 It is the contractor's responsibility to have all Architectural & Structural documentation, including all site instructions any any details issued during the course of construction, approved by the relevant authorities including the local Council & the Water Board before any work may proceed with.

A6 All construction, control joints and expansion joints in the wall, floors, & other locations shall be in strict accordance with Architectural and/or Structural Engineering details. Neglect or breaches other than specified, are allowed without written permission from the Architect and/or Engineer.

A7 Measurements for the fabrication of secondary components such as, windows, doors, internal frames, structural steel components and the like, are not to be taken from these documents. Measurements must be taken on site and the work is completed.

A8 All structural components shall be in strict accordance to details and specifications as prepared by a structural engineer, and those details from part of the total specification.

A9 All existing structures must be examined for structural adequacy, and it is the Contractor's responsibility to ensure that a certificate of structural adequacy is available prior to the start of any work.

A10 No construction work shall commence until a site survey has been completed. This work must be performed by a registered Surveyor.

A11 Foundation set-out, to be performed by the Surveyor, must be in strict accordance with the approved drawings and must be protected during construction.

A12 All timber work to comply with the requirements of the Light Timber Framing Code S.A.A. Codes and Structural Engineer's details and specifications.

A13 Copyrights of all documentation and designs relating to both Architectural and Structural Engineering, are retained by this office. Written authority is required for any reproduction.

A14 All Architectural documentation to be read in conjunction with the Structural Engineer's details and specifications.

A15 Comply with the "hazardous materials" clause of the specification.

IMPORTANT NOTE: It is the Tenderer's & Contractor's responsibility to check that all Architectural, Structural and all other job related documentation has been received before tendering and/or construction may commence. Should there be any doubt as to the availability of such documents the Architect should be notified before further details are needed, the Tenderer and/or Contractor shall obtain such details before signing of contract documents. Failure to adhere to these conditions, the Tenderer and/or Contractor nullifies any right or claim for extras, due to interpretation of documentation, and the Architect's &/or Engineer's direction shall be carried out at the tenderer's cost.

DRAWN	DATE	ISSUE	AMENDMENT
JN	11.06.2024	A	RESPONSE TO COUNCIL RFI

PROJECT

206-214 Lakemba Street, Lakemba NSW

SADAD

CLIENT

Greek Orthodox Community of NSW

DRAWING NAME

EXISTING/PROPOSED ELEVATIONAL SHADOWS

SCALE @ A1: As indicated
SCALE @ A3:

DRAWN: MG
CHECKER: NK
DATE: 15.07.2023

JOB NO. ---
DRAWING NO. **D040**
ISSUE: **D**

Katris Architects Pty Ltd

Nominated Architects: Chris Katris (Reg 9724), Nick Katris (Reg 3878), Peter Katris (Reg 4569)

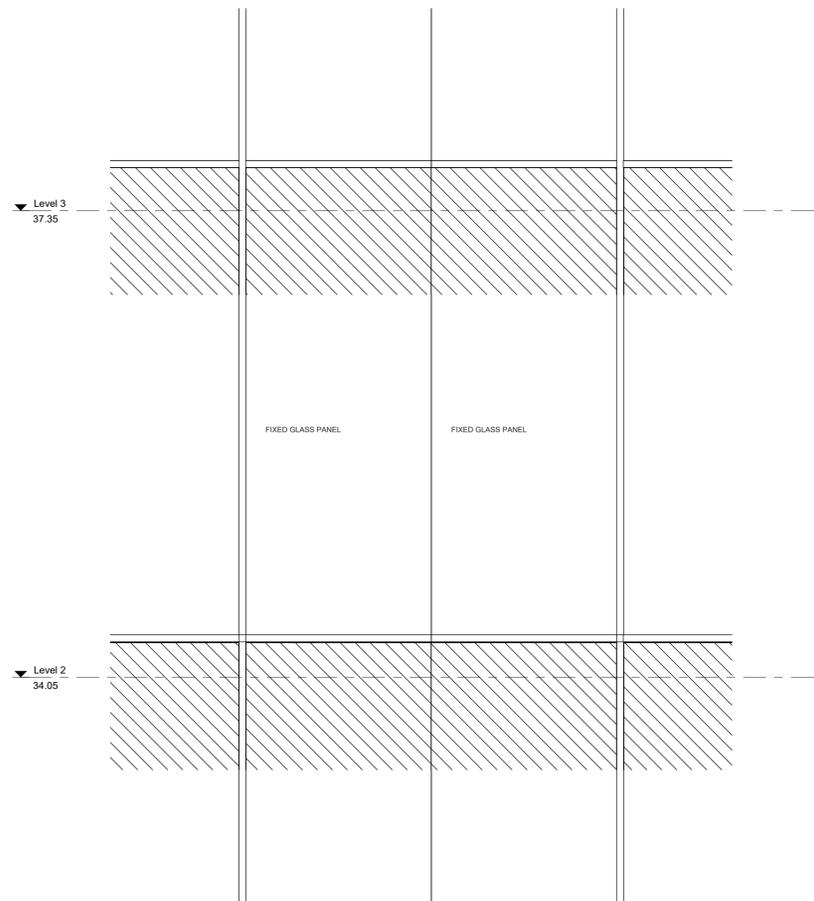
Level 1, Suite 2, 28-30 Burwood Road, Burwood NSW 2134

PO Box 703 Burwood 1805 NSW Australia

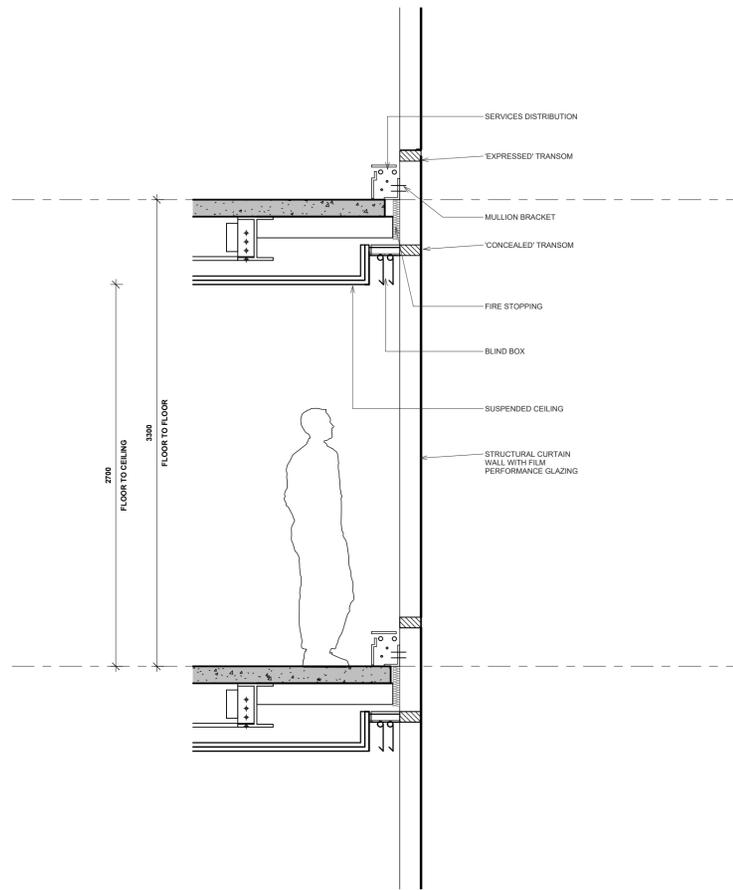
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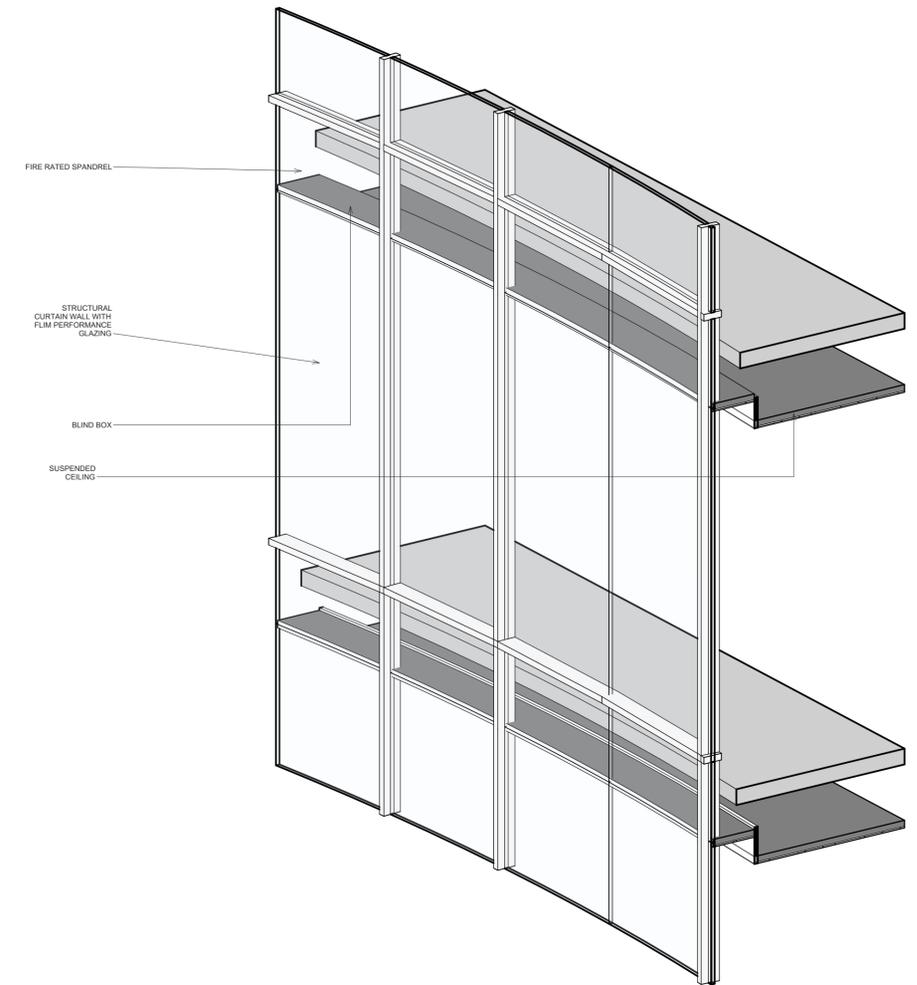




2 FACADE ELEVATION
D041 1 : 25



1 FACADE SECTION DETAIL
D041 1 : 25



3 FACADE DETAIL - 3D VIEW
D041

ARCHITECTURAL - GENERAL NOTES

- A1 All dimensions are to be confirmed on site by the builder/subcontractor, any incongruities must be reported to the Architect before commencement of any work.
 - A2 The Builder/subcontractor will be held responsible for any construction details which have not been approved by the Architect.
 - A3 In the event of encountering any discrepancies on these drawings, specification or subsequent instructions issued, the Builder/subcontractor shall contact the Architect before proceeding further with any work.
 - A4 The Builder/subcontractor will be held responsible for the safety of the whole building for a minimum period of two years after the date of practical completion.
 - A5 It is the contractor's responsibility to have all Architectural & Structural documentation, including all site instructions any any details issued during the course of construction, approved by the relevant authorities including the local Council & the Water Board before any work may be proceeded with.
 - A6 All construction, control joints and expansion joints in the wall, floor, & other locations shall be in strict accordance with Architectural and/or Structural Engineering details. Neglect or breaks other than specified, are allowed without written permission from the Architect and/or Engineer.
 - A7 Measurements for the fabrication of secondary components such as, windows, doors, internal frames, structural steel components and the like, are not to be taken from these documents. Measurements must be taken on site and the work is completed.
 - A8 All structural components shall be in strict accordance to details and specifications as prepared by a structural engineer, and those details from part of the total specification.
 - A9 All existing structures need to be examined for structural adequacy, and it is the Contractor's responsibility to ensure that a certificate of structural adequacy is available prior to the start of any work.
 - A10 No construction work shall commence until a site survey has been completed. This work must be performed by a registered Surveyor.
 - A11 Foundation set-out, to be performed by the Surveyor, measured in AUST and recovery pegs must be protected during construction.
 - A12 All timber work to comply with the requirements of the Light Timber Framing Code S.A.A. Codes and Structural Engineer's details and specification.
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 - A15 Comply with the 'hazardous material' clause of the specification.
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DRAWN	DATE	ISSUE	AMENDMENT
JN	11.06.2024	A	RESPONSE TO COUNCIL RFI

PROJECT

206-214 Lakemba Street, Lakemba NSW

SADAD

CLIENT

Greek Orthodox Community of NSW



DRAWING NAME

FACADE DETAILS

SCALE @ A1: 1 : 25

SCALE @ A3:

DRAWN: MG

CHECKER: NK

DATE: 15.07.2023

JOB NO.

--

DRAWING NO.

D041

ISSUE:

D

Katris Architects Pty Ltd

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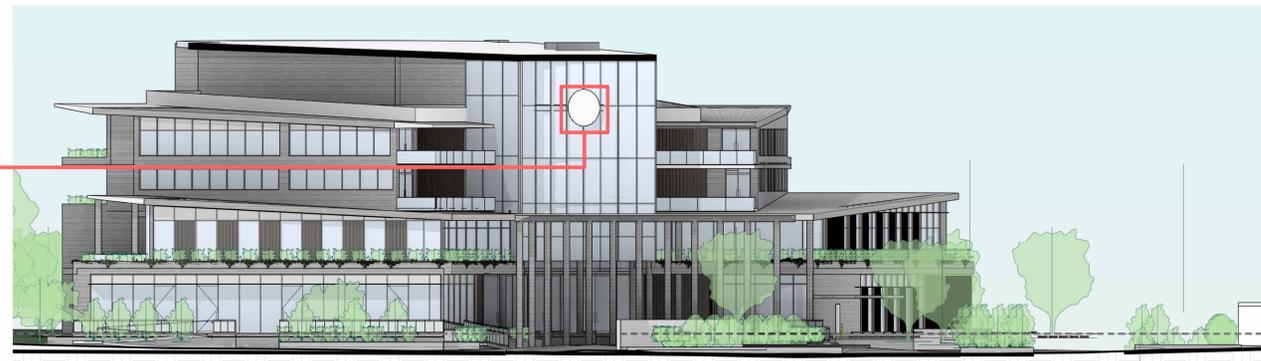
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PROPOSED 'GOC' BRANDING SIGNAGE
 METHOD OF ATTACHMENT: FIXED TO GLAZED
 FACADE. DETAILS TO BE CONFIRMED AT
 LATER DATE
 ILLUMINATED: YES
 METHOD OF ILLUMINATION: LIGHTBOX



2 PROPOSED STREETScape ELEVATION - SIGNAGE
 D042 1 : 250



PROPOSED SHOP FRONT SIGNAGE
 METHOD OF ATTACHMENT: VINYL DIRECT STICK TO
 GLASS OR SUBJECT TO SHOP TENANT/OWNER
 AGREEMENT

1 PROPOSED SITE PLAN - SIGNAGE
 D042 1 : 250

ARCHITECTURAL - GENERAL NOTES

A1 All dimensions are to be confirmed on site by the builder/subcontractor, any incongruities must be reported to the Architect before commencement of any work.
 A2 The Subcontractor shall be held responsible for any construction details which have not been approved by the Architect.
 A3 In the event of encountering any discrepancies on these drawings, specification or subsequent instructions issued, the Builder/Subcontractor shall contact the Architect before proceeding further with any work.
 A4 The Subcontractor shall be held responsible for the extinguishment of the whole building for a minimum period of two years after the date of practical completion.
 A5 It is the contractor's responsibility to have all Architectural & Structural documentation, including all site instructions any details issued during the course of construction, approved by the relevant authorities including the local Council & the Water Board before any work may be proceeded with.
 A6 All construction, control joints and expansion joints in the wall, floor, & other locations shall be in strict accordance with Architectural and/or Structural Engineering details. Neglects or breaches other than specified, are allowed without written permission from the Architect and/or Engineer.
 A7 Measurements for the fabrication of secondary components such as, windows, doors, internal frames, structural steel components and the like, are not to be taken from these documents. Measurements must be taken on site and used for construction.
 A8 All structural components shall be in strict accordance to details and specifications as prepared by a structural engineer, and those details from part of the total specification.
 A9 All existing structures need to be examined for structural adequacy, and it is the Contractor's responsibility to ensure that a certificate of structural adequacy is available prior to the start of any work.
 A10 No construction work shall commence until a site survey has been completed. This work must be performed by a registered Surveyor.
 A11 Foundation set-out, to be performed by the Surveyor mentioned in A10 and recovery pegs must be protected during construction.
 A12 All timber work to comply with the requirements of the Light Timber Framing Code S.A.A. Codes and Structural Engineer's details and specification.
 A13 Copyrights of all documentation and designs relating to both Architectural and Structural Engineering, are retained by this office. Written authority is required for any reproduction.
 A14 All Architectural documentation to be read in conjunction with the Structural Engineer's details and specification.
 A15 Comply with the 'heaviness matters' clause of the specification.
 IMPORTANT NOTE: It is the Tenderer's & Contractor's responsibility to check that all Architectural, Structural and all other job related documentation's have been received before tendering and/or construction may commence. Should there be any doubts to the availability of such documents to the Architect should be notified before further details be needed, the Tenderer and/or Contractor shall obtain such details before signing of contract documents. Failure to adhere to these conditions, the Tenderer and/or Contractor nullifies any right or claim for extras, due to interpretation of documentation, and the Architect's &/or Engineer's direction shall be carried out at the tenderer's cost.

DRAWN	DATE	ISSUE	AMENDMENT
NB	11.06.2024	A	RESPONSE TO COUNCIL RFI

PROJECT

206-214 Lakemba Street, Lakemba NSW

SADAD

CLIENT

Greek Orthodox Community of NSW

DRAWING NAME

SIGNAGE LOCATION PLAN

SCALE @ A1: 1 : 250

SCALE @ A3:

DRAWN: MG

CHECKER: NK

DATE: 15.07.2024

JOB NO.

--

DRAWING NO.

D042

ISSUE:

D



Katris Architects Pty Ltd

Nominated Architects: Chris Katris (Reg 9724), Nick

Katris (Reg 3878), Peter Katris (Reg 4569)

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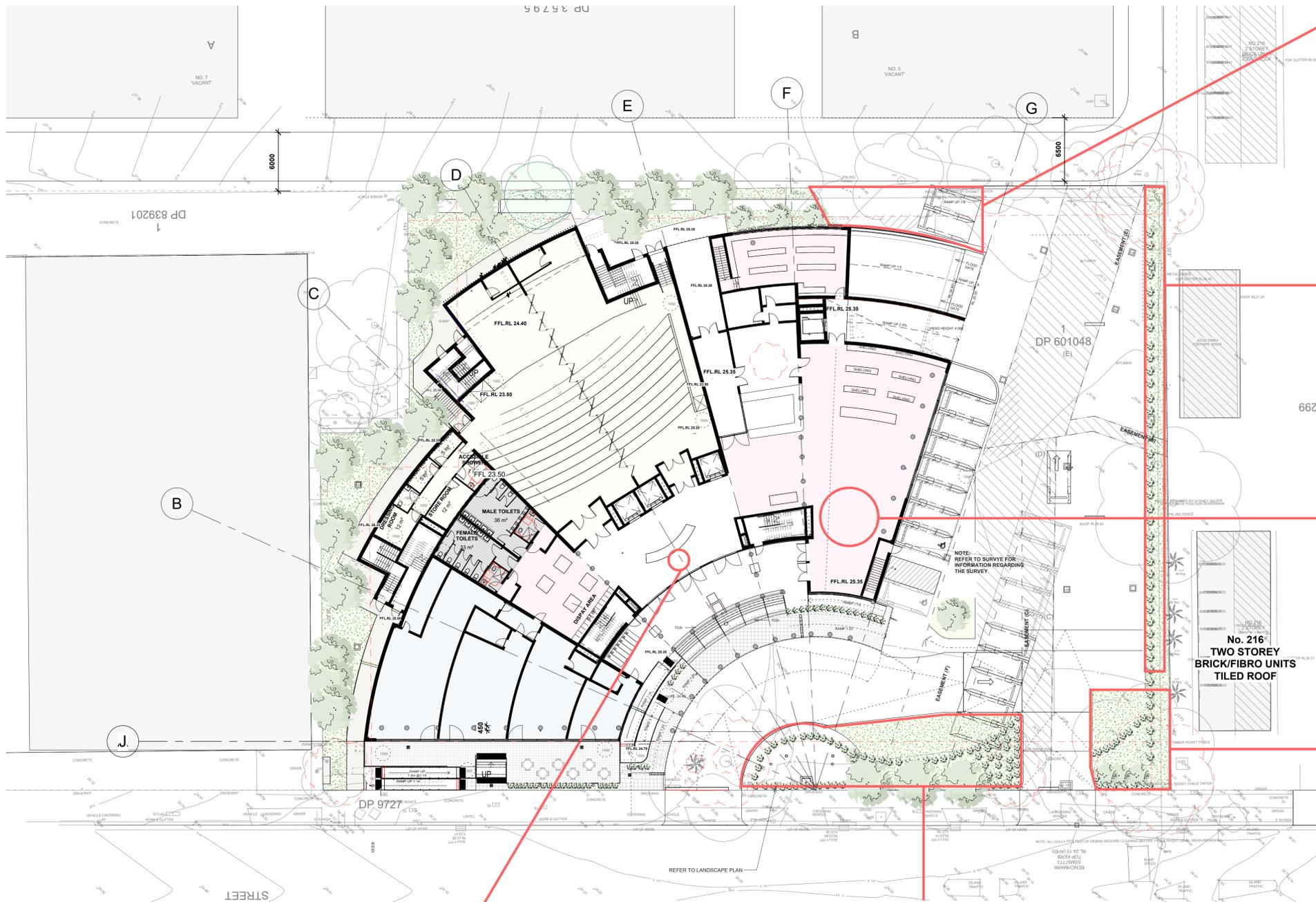
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1 PROPOSED GROUND FLOOR/SITE PLAN
1 : 250

LAKEMBA STREET



Acknowledgement to Country Plaque - Dharug
Lakemba is situated on Dharug land. Therefore it is important when connecting with country to have a plaque that recognises the traditional owners of the land. A plaque located central and immediately at the main access point of the building allows individuals to recognise this. Image above shows an example of a plaque that allows building users to acknowledge traditional custodians of the land.



Landscape Area
The landscape design largely uses native plants that reflects the historic landscape and a connection to country. These include different types of plants such as shrubs / grasses / strappy plants / ground cover plants / trees



Decomposed Granite Path
The use of a decomposed granite path connects the user with the landscape. Creates no separation between pathway and landscape. The earthy tones a reminiscent to the tones portrayed in Native landscapes



Arts & Cultural Centre
Area proposed to allow for the celebration of both Greek & Indigenous community arts and cultural work for exhibition. Both communities have rich cultural backgrounds and history that can be expressed for community engagement to the lakemba area that is known for its multi cultural demographic



Native Tree Retention
Tree notified as tree 2 is a considerable native eucalypt that exist on the site. amendments to the plan have been made for the retention of the native tree a corner stone of the site. Important to the endemic turpentine / ironbark forest of the area pre urbanization



Landscape Design - Lakemba Street
The landscape design largely uses native plants that reflects the historic landscape and a connection to country. These include different types of plants such as shrubs / grasses / strappy plants / ground cover plants / trees

ARCHITECTURAL - GENERAL NOTES
A1 All dimensions are to be confirmed on site by the builder/subcontractor, any incongruities must be reported to the Architect before commencement of any work.
A2 The Subcontractor shall be held responsible for any construction details which have not been approved by the Architect.
A3 In the event of encountering any discrepancies on these drawings, specification or subsequent instructions issued, the Builder/Subcontractor shall contact the Architect before proceeding further with any work.
A4 The Subcontractor shall be held responsible for the extent/depth of the whole building for a minimum period of two years after the date of practical completion.
A5 It is the contractor's responsibility to have all Architectural & Structural documentation, including all site instructions any any details issued during the course of construction, approved by the relevant authorities including the local Council & the Water Board before any work may proceed with.
A6 All construction, control joints and expansion joints in the wall, floor, & other locations shall be in strict accordance with Architectural and/or Structural Engineering details. Neglect or breaches other than specified, are allowed without written permission from the Architect and/or Engineer.
A7 Measurements for the fabrication of secondary components such as, windows, doors, internal frames, structural steel components and the like, are not to be taken from these documents. Measurements must be taken on site and not from any construction.
A8 All structural components shall be in strict accordance to details and specifications as prepared by a structural engineer, and those details from part of the total specification.
A9 All existing structures need to be examined for structural adequacy, and it is the Contractor's responsibility to ensure that a certificate of structural adequacy is available prior to the start of any work.
A10 No construction work shall commence until a site survey has been completed. This work must be performed by a registered Surveyor.
A11 Foundation set-out, to be performed by the Surveyor, measured in AS1 and recovery pegs must be protected during construction.
A12 All tender work to comply with the requirements of the Light Timber Framing Code of Practice, AS 1684, and Structural Engineer's details and specifications.
A13 Copyright of all documentation and designs relating to both Architectural and Structural Engineering, are retained by this office. Written authority is required for any reproduction.
A14 All Architectural documentation to be read in conjunction with the Structural Engineer's details and specification.
A15 Comply with the 'honourable member' clause of the specification.
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DRAWN DATE ISSUE AMENDMENT
NB 11.06.2024 A RESPONSE TO COUNCIL RFI

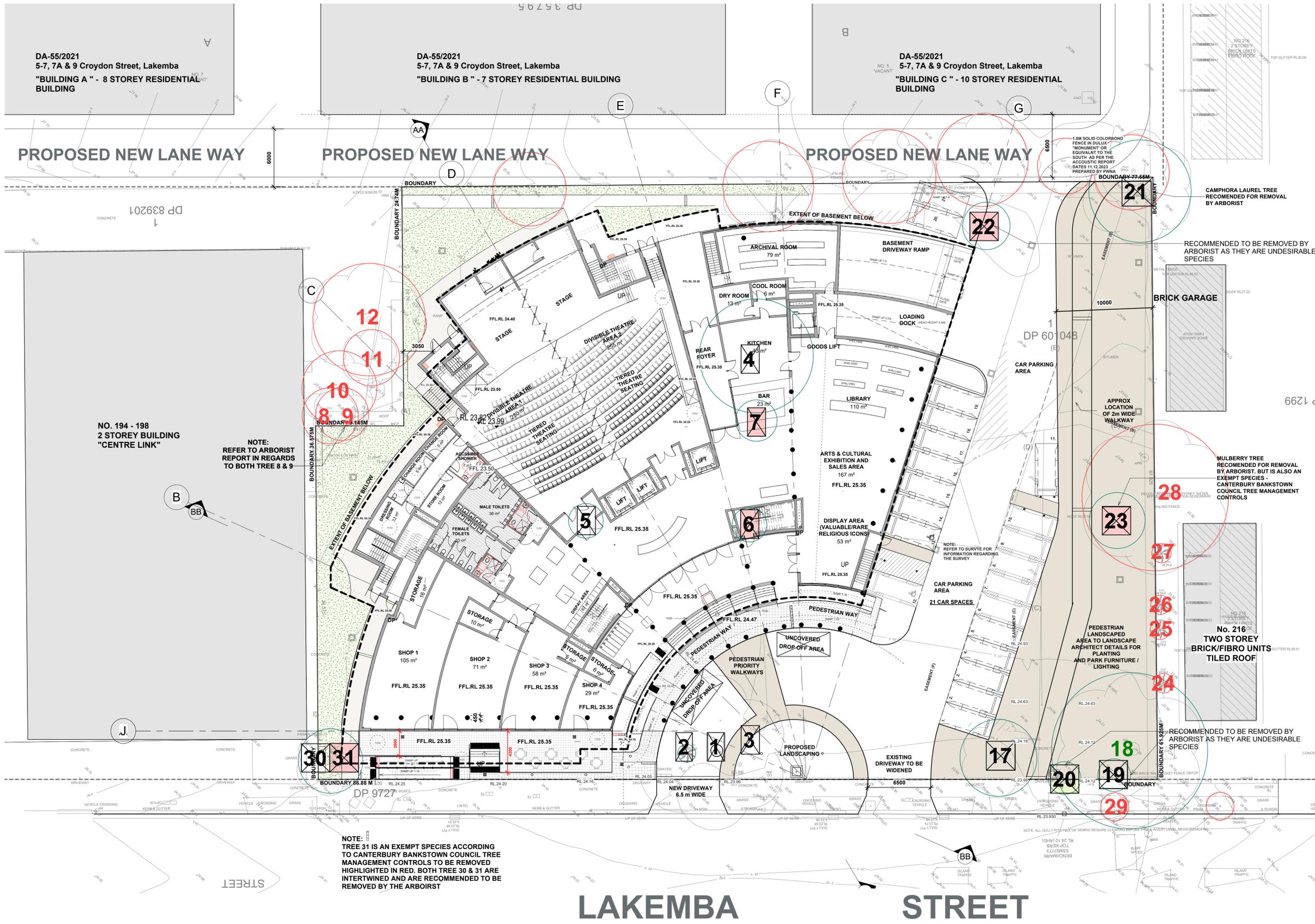
PROJECT
206-214 Lakemba Street, Lakemba NSW
SADAD
CLIENT
Greek Orthodox Community of NSW



DRAWING NAME
INTERPRETATION PLAN
SCALE @ A1: 1 : 250
SCALE @ A3:
JOB NO. --
DRAWING NO. **D043**
ISSUE: **D**
DRAWN: **MG**
CHECKER: **NK**
DATE: **15.07.2024**

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LEGEND:

- 28 DENOTES TREE WITH IN THE SITE BOUNDARY
- 28 DENOTES TREE NOT WITH IN THE SITE BOUNDARY
- 28 DENOTES TREE NUMBER ACCORDING TO ARBORIST REPORT THAT IS TO BE REMOVED
- 28 NOTE: EXEMPT SPECIES ACCORDING TO CANTERBURY BANKSTOWN COUNCIL TREE MANAGEMENT CONTROLS HIGHLIGHTED IN GREEN TO BE RETAINED

*** IMPORTANT NOTE:**
 SITE INSPECTIONS WERE CARRIED OUT WITH THE ARBORIST & THIS DRAWING REPRESENTS THE FINAL AGREED SITUATION WITH REGARDS TO THE TREES THAT ARE TO BE REMOVED EITHER, BECAUSE THEY ARE EXEMPT SPECIES IN ACCORDANCE TO CANTERBURY BANKSTOWN COUNCIL TREE MANAGEMENT CONTROLS OR THEY ARE UNDESIRABLE TREE SPECIES ACCORDING TO THE ARBORIST. SUCH TREES ARE 7 IN NO. AT THIS STAGE WE ARE REMOVING 6 TREES TO CATER FOR THE BUILDING WORKS

PROPOSED EXISTING TREES ON SITE TO BE REMOVED ON SITE

1	2	3	4	5	17
6	7	19	20	21	22
23	30	31			

NOTE: EXEMPT SPECIES ACCORDING TO CANTERBURY BANKSTOWN COUNCIL TREE MANAGEMENT CONTROLS OR THEY HAVE BEEN NOMINATED AS UNDESIRABLE SPECIES BY THE ARBORIST TO BE REMOVED - HIGHLIGHTED IN RED

DA-55/2021
 5-7, 7A & 9 Croydon Street, Lakemba
 "BUILDING A" - 8 STOREY RESIDENTIAL BUILDING

DA-55/2021
 5-7, 7A & 9 Croydon Street, Lakemba
 "BUILDING B" - 7 STOREY RESIDENTIAL BUILDING

DA-55/2021
 5-7, 7A & 9 Croydon Street, Lakemba
 "BUILDING C" - 10 STOREY RESIDENTIAL BUILDING

PROPOSED NEW LANE WAY

PROPOSED NEW LANE WAY

PROPOSED NEW LANE WAY

NO. 194 - 198
 2 STOREY BUILDING
 "CENTRE LINK"

BRICK GARAGE

MULBERRY TREE
 RECOMMENDED FOR REMOVAL BY ARBORIST. BUT IS ALSO AN EXEMPT SPECIES
 CANTERBURY BANKSTOWN COUNCIL TREE MANAGEMENT CONTROLS

No. 216
 TWO STOREY
 BRICK/FIBRO UNITS
 TILED ROOF

NOTE:
 TREE 31 IS AN EXEMPT SPECIES ACCORDING TO CANTERBURY BANKSTOWN COUNCIL TREE MANAGEMENT CONTROLS TO BE REMOVED HIGHLIGHTED IN RED. BOTH TREE 30 & 31 ARE INTERTWINED AND ARE RECOMMENDED TO BE REMOVED BY THE ARBORIST

LAKEMBA STREET

1 D050
 PROPOSED GROUND FLOOR/SITE PLAN
 1:200

0m 4m 8m 12m 16m 20m
 VISUAL SCALE 1:200 @ A1
 1:400 @ A3

ARCHITECTURAL - GENERAL NOTES

A1 All dimensions are to be confirmed on site by the builder/subcontractor, any inaccuracies must be reported to the Architect before commencement of any work.

A2 The Subcontractor will be held responsible for any construction details which have not been approved by the Architect.

A3 In the event of encountering any discrepancies on these drawings, specification or subsequent instructions issued, the Builder/subcontractor shall contact the Architect before proceeding further with any work.

A4 The Subcontractor will be held responsible for the extent of the whole building for a minimum period of two years after the date of practical completion.

A5 It is the contractor's responsibility to have all Architectural & Structural documentation, including all site instructions any details issued during the course of construction, approved by the relevant authorities including the Local Council & the Water Board before any work may be proceeded with.

A6 All construction, control joints and expansion joints in the wall, floors, & other locations shall be in strict accordance with Architectural and/or Structural Engineering details. Neglects or breaches other than specified, are allowed without written permission from the Architect and/or Engineer.

A7 Measurements for the fabrication of secondary components such as, windows, doors, internal frames, structural steel components and the like, are not to be taken from these documents. Measurements must be taken on site and shall be confirmed by the Architect.

A8 All structural components shall be in strict accordance to details and specifications as prepared by a structural engineer, and those details from part of the final specification.

A9 All existing structures need to be examined for structural adequacy, and it is the Contractor's responsibility to ensure that a certificate of structural adequacy is available prior to the start of any work.

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A11 Foundation set-out, to be performed by the Surveyor mentioned in A10 and recovery pegs must be provided during construction.

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A15 Comply with the "deviser's" choice of the specification.

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DRAWN	DATE	ISSUE	AMENDMENT
NB	11.06.2024	A	RESPONSE TO COUNCIL RFI

PROJECT
206-214 Lakemba Street, Lakemba NSW

SADAD

CLIENT
Greek Orthodox Community of NSW

DRAWING NAME
TREE LOCATION SCHEDULE - REMOVAL / MAINTENANCE OF TREES - ARBORIST LOCATION

SCALE @ A1: As Indicated
 SCALE @ A3:

DRAWN: JT
 CHECKER: NK
 DATE: 15.07.2024

JOB NO.: --
 DRAWING NO.: D050
 ISSUE: D

TRUE NORTH

Katris Architects Pty Ltd

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