

ARCHITECTURAL DRAWING SCHEDULE

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DEVELOPMENT APPLICATION

ISSUE D

Date 15.07.2024

Project 206-214 Lakemba Street, Lakemba NSW

Client Greek Orthodox Community of NSW

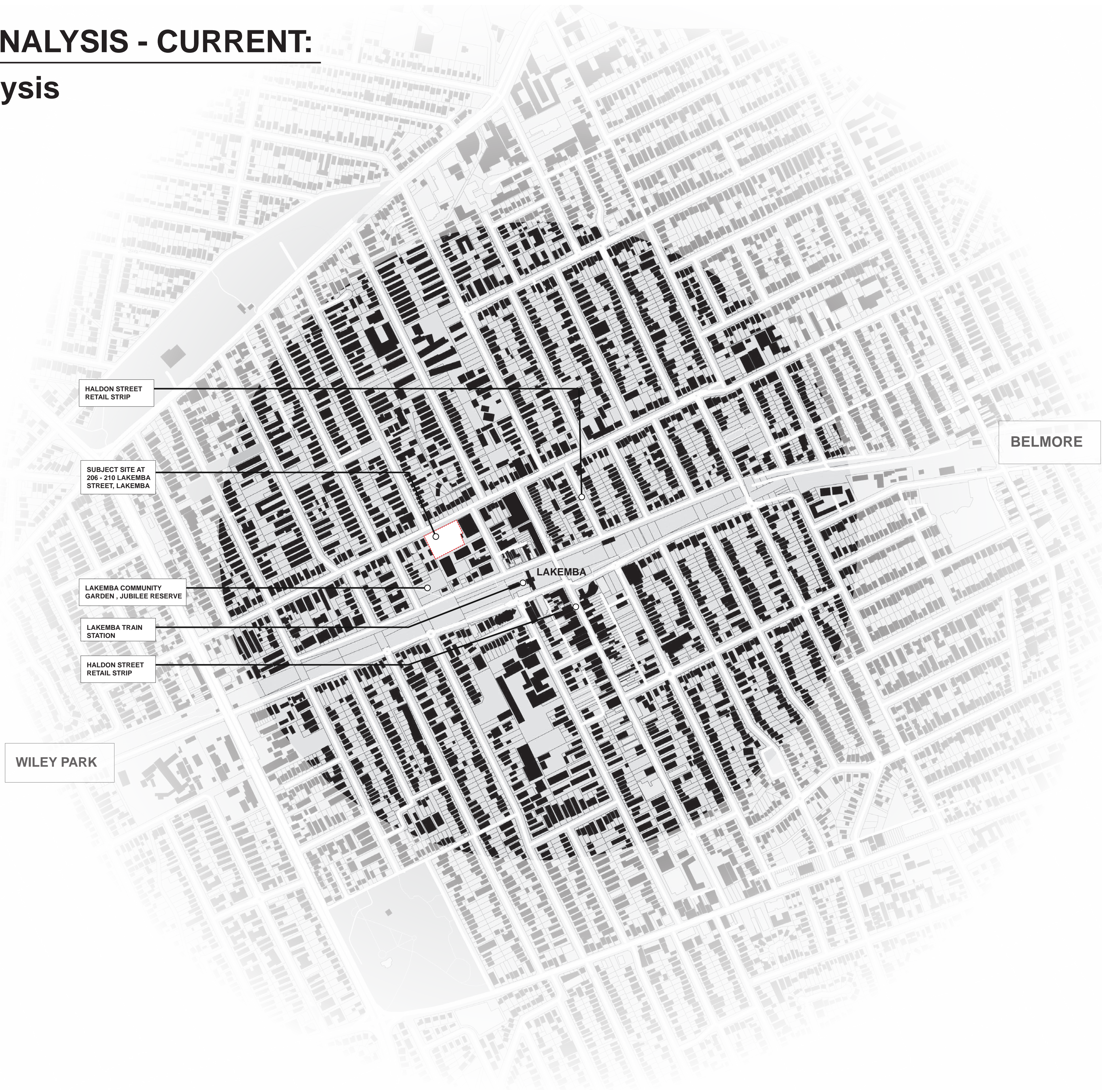


Katris Architects Pty Ltd

Nominated Architects Nick Katris (Reg 3878), Peter Katris (Reg 4569), Chris Katris (Reg 9724)
level 1, Suite 2, 28-30 Burwood Road, Burwood 2134 NSW Australia
PO Box 703 Burwood 1805 NSW Australia
P 02 9744 5421
F 02 9747 5046
www.katris.com.au
admin@katris.com.au

SITE & CONTEXT ANALYSIS - CURRENT:

Urban Context Analysis



ARCHITECTURAL - GENERAL NOTES

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DRAWN	DATE	ISSUE	AMENDMENT
JT	28.07.2023	A	DRAFT ISSUE FOR DEVELOPMENT APPLICATION
AJ	24.11.2023	B	DRAFT ISSUE FOR DEVELOPMENT APPLICATION
AJ	12.12.2023	C	ISSUE FOR DEVELOPMENT APPLICATION

PROJECT

206-214 Lakemba Street, Lakemba NSW

SADAD

CLIENT

Greek Orthodox Community of NSW

DRAWING NAME

URBAN CONTEXT ANALYSIS

SCALE @ A1:

SCALE @ A3:

DRAWN: JT

CHECKER: NK

DATE: 12.12.2023

JOB NO.

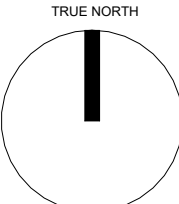
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DRAWING NO.

A001

ISSUE:

C



Katris Architects Pty Ltd

Nominated Architects: Chris Katris (Reg 9724), Nick Katris (Reg 3878), Peter Katris (Reg 4569)

Level 1, Suite 2, 28-30 Burwood Road, Burwood NSW 2134

PO Box 703 Burwood 1805 NSW Australia

P 02 9744 5421

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www.katris.com.au

ABN 79 001 639 970



SITE & CONTEXT ANALYSIS - CURRENT:

Context - Locality Plan



1. LAKEMBA TRAIN STATION



2. HALDON STREET RETAIL STRIP



3. LAKEMBA COMMUNITY GARDEN, JUBILEE RESERVE



4. EXISTING GREEK ORTHODOX COMMUNITY CENTRE AT SUBJECT SITE
206 - 210



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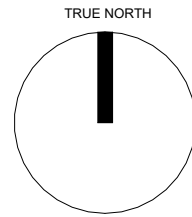
PROJECT

206-214 Lakemba Street, Lakemba NSW

SADAD

CLIENT

Greek Orthodox Community of NSW



DRAWING NAME

CONTEXT - LOCALITY PLAN

SCALE @ A1:

SCALE @ A3:

DRAWN: JT

CHECKER: NK

DATE: 12.12.2023

JOB NO.

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DRAWING NO.

A002

ISSUE:

C

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ABN 79 001 639 970



SITE & CONTEXT ANALYSIS - CURRENT:

Neighbouring Developments

1.

5-7 Croydon Street Lakemba

Neighbouring development to the rear of subject site at 206 - 210 Lakemba Street, Lakemba

DA-55/2021

Construction of three residential flat buildings ranging from five to ten storeys with basement level car parking and open space areas and a new roadway to be dedicated to Council. Torrens title subdivision to create separate parcels for the laneway and the development site, and strata subdivision of the apartments

2.

Lakemba Station Renewal

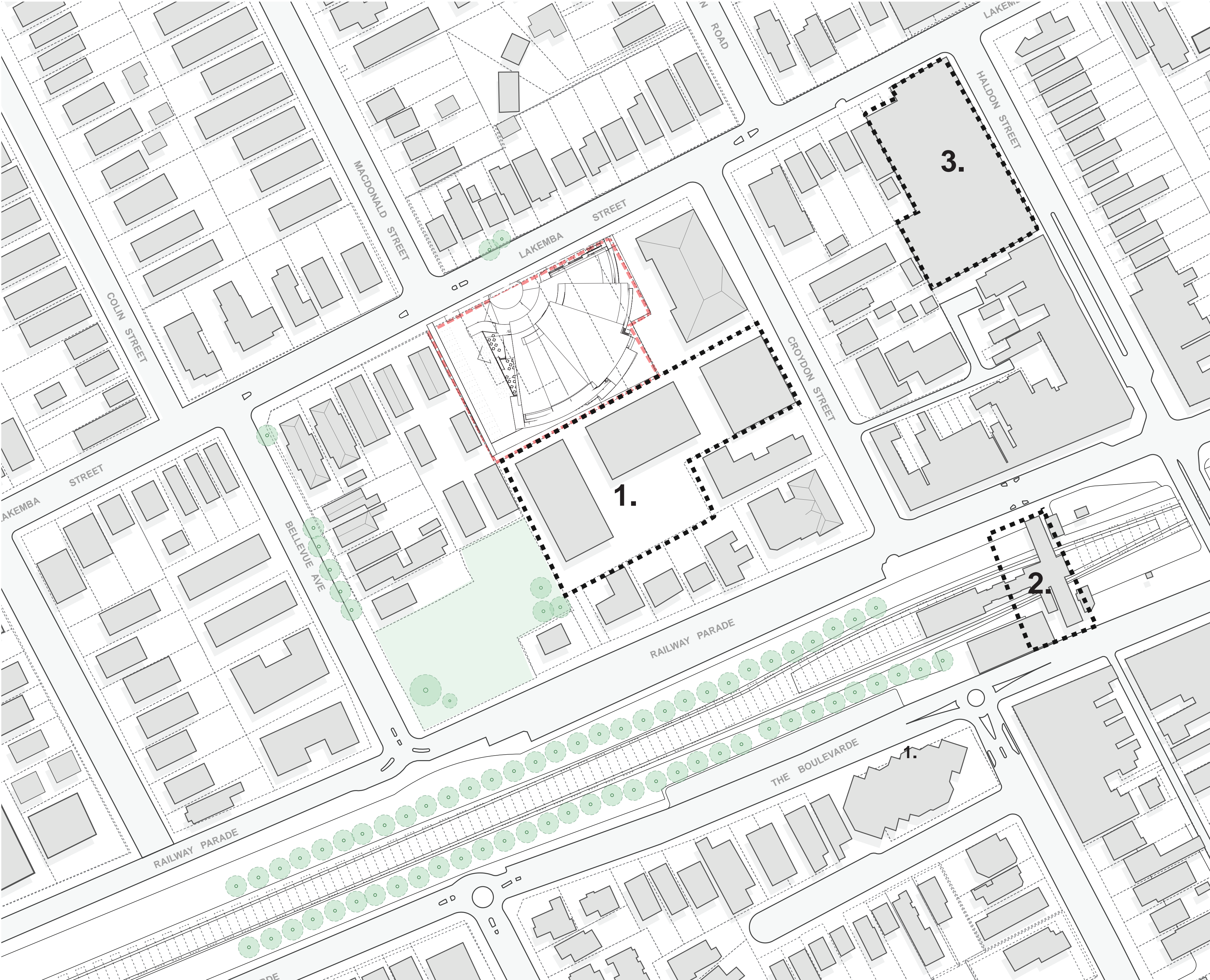
METRON Sydney Metro Development. Sydney Metro proposed Public Domain and Station Access Plan for improved station design, accessibility and interchange with other modes of transport. The new metro station at Lakemba will provide improved pedestrian and bicycle access



3.

2-26 Haldon Street, Lakemba

Eight (8) storey mixed use building with commercial ground floor, and residential units on top.



SCALE 1:1000

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A11 Foundation set-out, to be performed by the Surveyor, must be protected during construction.			
A12 All timber work is to comply with the requirements of the Light Timber Framing Code 3.3.A. Codes and Structural Engineer's details and specification.			
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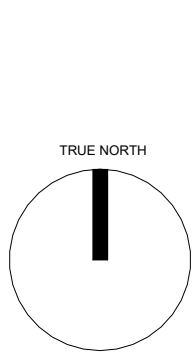
PROJECT

206-214 Lakemba Street, Lakemba NSW

SADAD

CLIENT

Greek Orthodox Community of NSW



DRAWING NAME

NEIGHBOURING DEVELOPMENTS

SCALE @ A1:
SCALE @ A3:

DRAWN: JT
CHECKER: NK

DATE: 12.12.2023

JOB NO.
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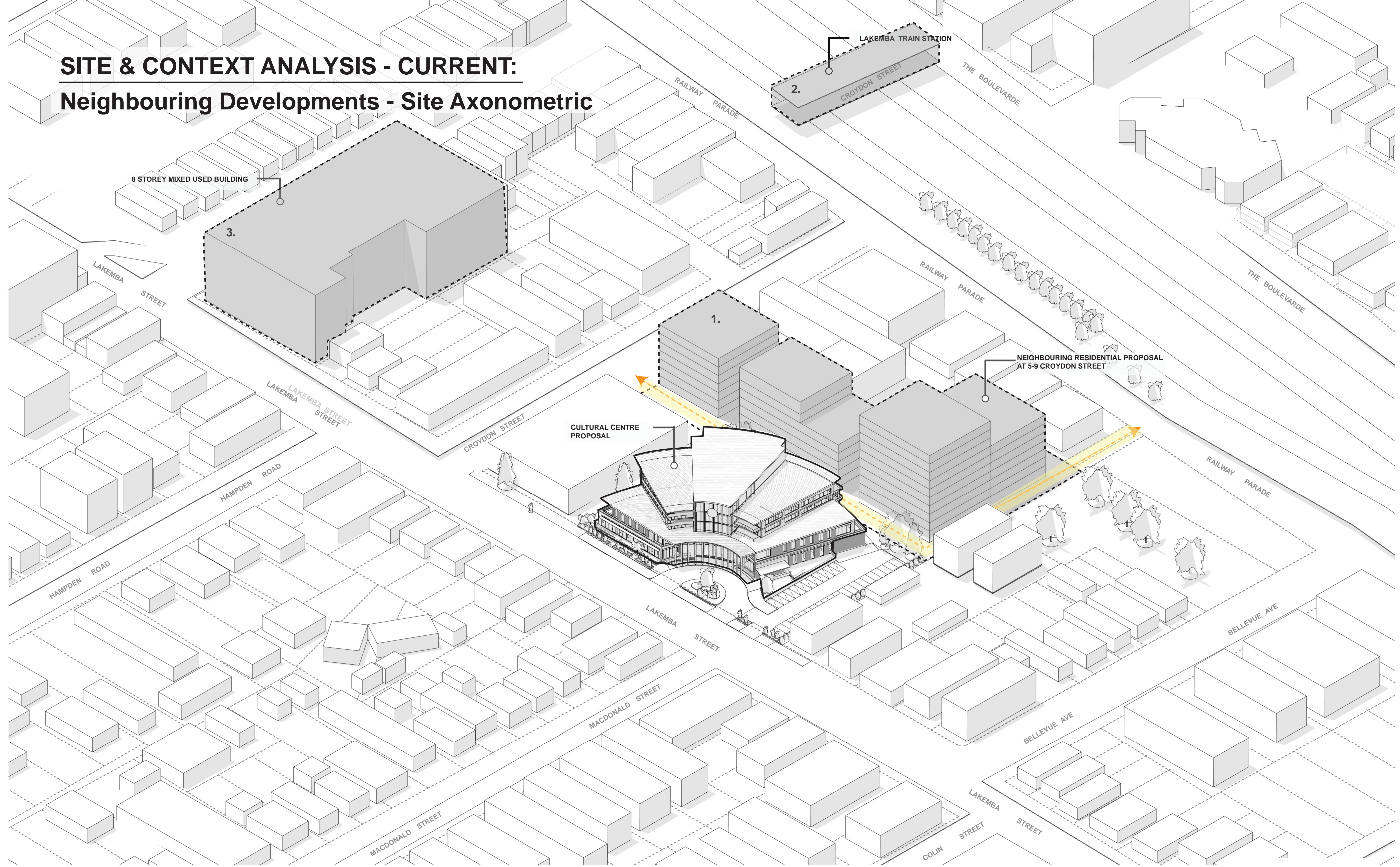
DRAWING NO.
A003

ISSUE:
C

Katris Architects Pty Ltd
Nominated Architects: Chris Katris (Reg 9724), Nick Katris (Reg 3878), Peter Katris (Reg 4569)
Level 1, Suite 2, 28-30 Burwood Road, Burwood NSW 2134
PO Box 703 Burwood 1805 NSW Australia
P 02 9744 5421 F 02 9747 5046
www.katris.com.au
ABN 79 001 639 970

SITE & CONTEXT ANALYSIS - CURRENT:

Neighbouring Developments - Site Axonometric



ARCHITECTURAL - GENERAL NOTES

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PROJECT

206-214 Lakemba Street, Lakemba NSW

SADAD

CLIENT

Greek Orthodox Community of NSW

DRAWING NAME

SITE AXO - EXISTING SITE

SCALE @ A1:

SCALE @ A3:

DRAWN: JT

CHECKER: NK

DATE: 12.12.2023

JOB NO.

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DRAWING NO.

A004

ISSUE:

C

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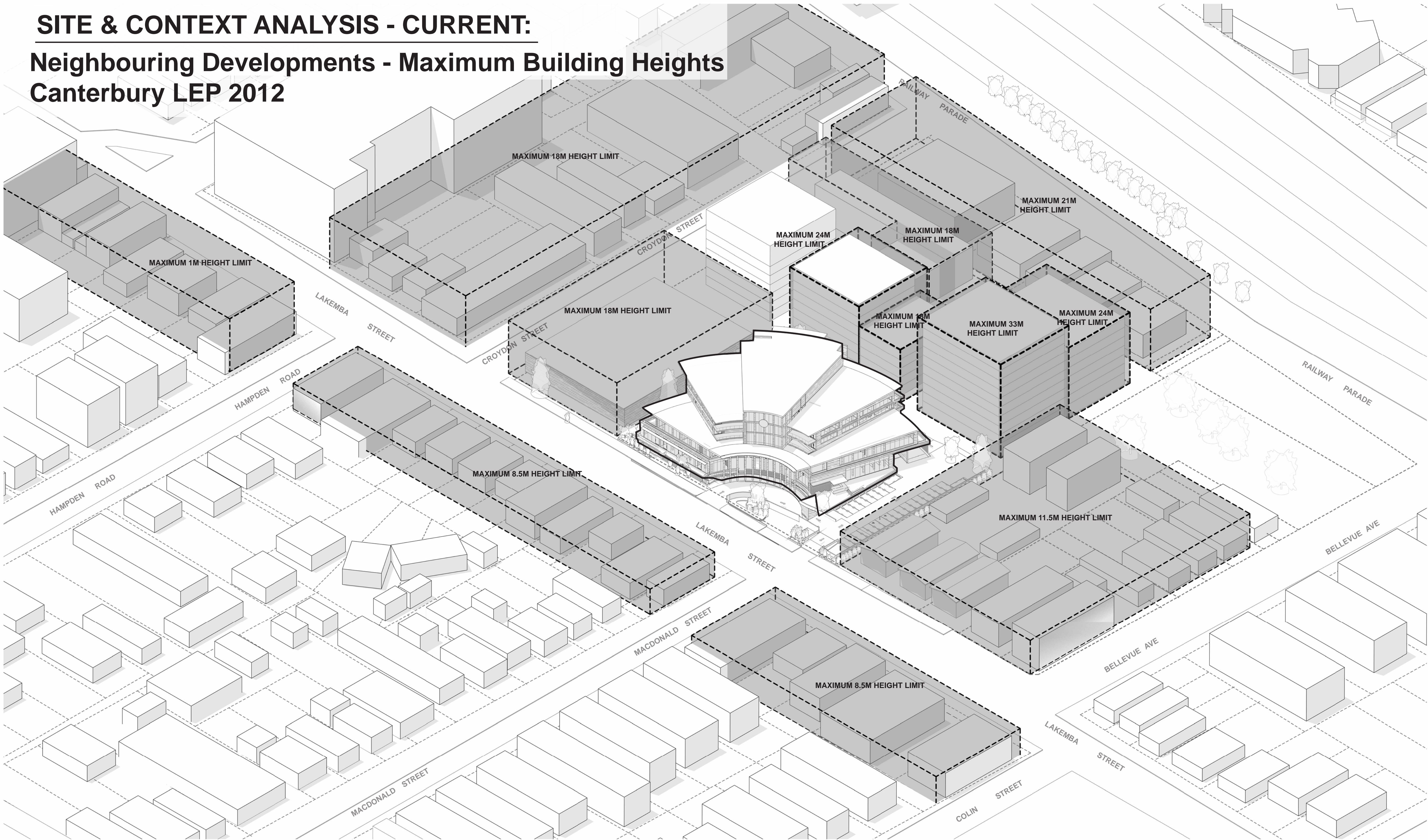
ABN 79 001 639 970



SITE & CONTEXT ANALYSIS - CURRENT:

Neighbouring Developments - Maximum Building Heights

Canterbury LEP 2012



Maximum building heights as per Canterbury LEP 2012

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SADAD

CLIENT

Greek Orthodox Community of NSW

DRAWING NAME

SITE AXO - LEP HEIGHTS

SCALE @ A1:

SCALE @ A3:

DRAWN: JT

CHECKER: NK

DATE: 12.12.2023

JOB NO.

--

DRAWING NO.

A005

ISSUE:

C

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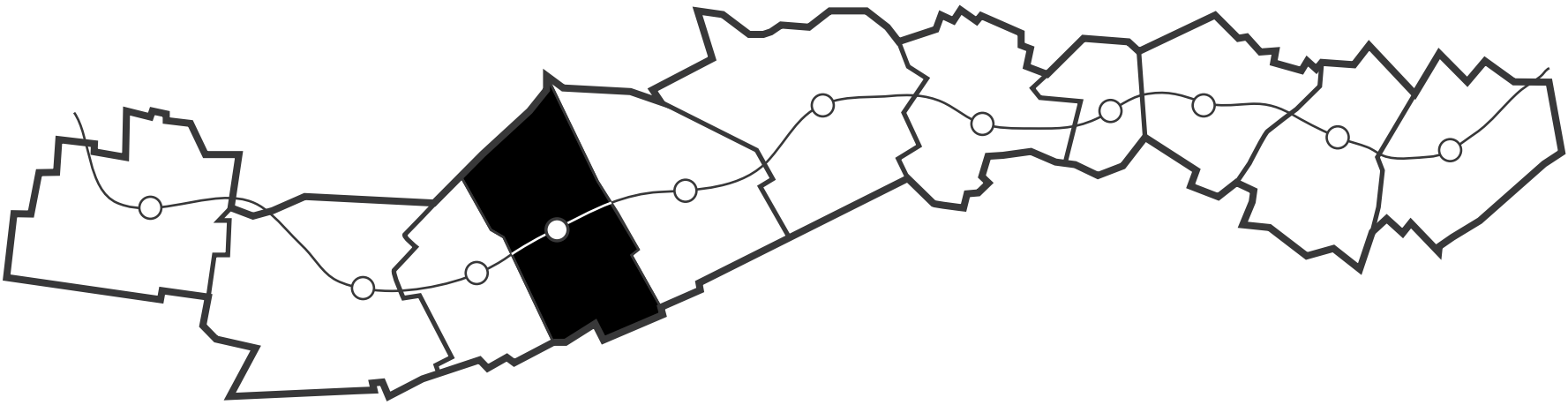
ABN 79 001 639 970



SITE & CONTEXT ANALYSIS - PROPOSED URBAN RENEWAL

SYDENHAM TO BANKSTOWN URABN RENEWAL CORRIDOR STRATEGY:

The subject site is located in the centre of Lakemba which is currently one of the 11 station precincts within the “Sydenham to Bankstown Urban Renewal Corridor Strategy” planned for redevelopment to enhance growth, infrastructure, and to renew the town centre.



LAKEMBA - PLANNED PRECINCT VISION:

Lakemba was announced as a Planned Precinct by the NSW Government as part of a housing affordability package on 1 June 2017. The vision and aims of redevelopment at Lakemba as stated by the NSW Government are as follows:

- A centre that capitalises on its vibrant shopping strip with great places to shop, eat and socialise.
- Increased housing options with pockets of modern residential development around the station.
- Retain architecture along Haldon Street's that contributes to its character and ensure that new development is complementary.
- Improved station entry and potential urban plaza providing a new public space.
- A proposed linear park along the train line could provide a new and interesting place for leisure and recreation.



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AJ	24.11.2023	B	DRAFT ISSUE FOR DEVELOPMENT APPLICATION
AJ	12.12.2023	C	ISSUE FOR DEVELOPMENT APPLICATION

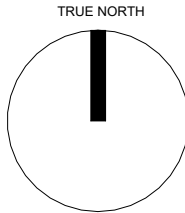
PROJECT

206-214 Lakemba Street, Lakemba NSW

SADAD

CLIENT

Greek Orthodox Community of NSW



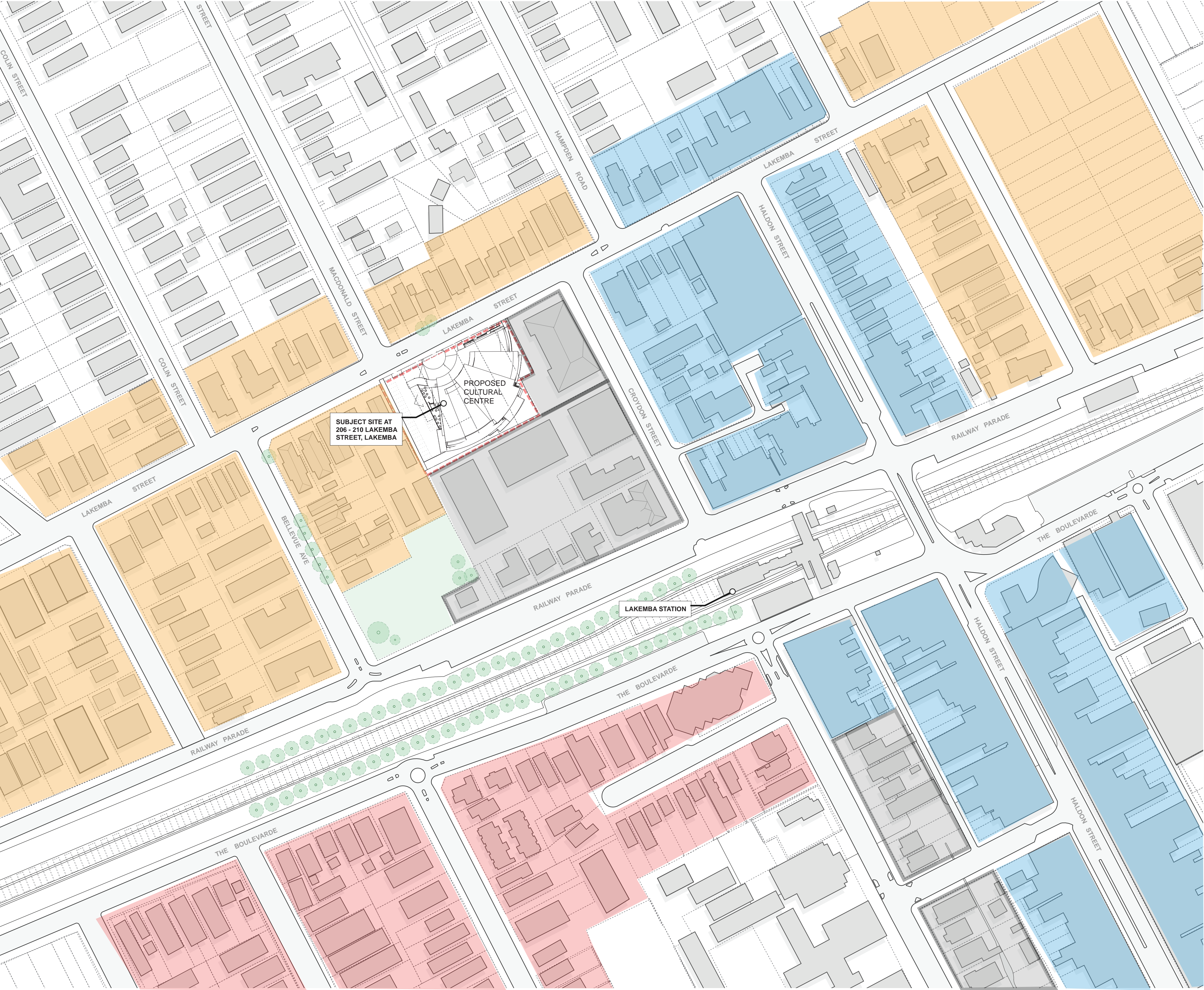
DRAWING NAME		
PROPOSED URBAN RENEWAL PRECINCT		
SCALE @ A1:	DRAWN: JT	DATE: 12.12.2023
SCALE @ A3:	CHECKER: NK	
JOB NO.	DRAWING NO.	ISSUE:
--	A006	C

Katris Architects Pty Ltd

Nominated Architects: Chris Katris (Reg 9724), Nick Katris (Reg 3878), Peter Katris (Reg 4569)
Level 1, Suite 2, 28-30 Burwood Road, Burwood NSW 2134
PO Box 703 Burwood 1805 NSW Australia
P 02 9744 5421 F 02 9747 5046
www.katris.com.au
ABN 79 001 639 970



SITE & CONTEXT ANALYSIS - PROPOSED URBAN RENEWAL



SCALE 1:1000

LAKEMBA PRECINCT -
PROPOSED LAND USES & ZONE:

- MEDIUM RISE HOUSING (MAXIMUM 6 STOREYS)
- MEDIUM-HIGH RISE HOUSING (MAXIMUM 8 STOREYS)
- MAIN STREET SHOP-TOP HOUSING (UP TO 12 STOREYS)
- HIGH RISE (UP TO 12 STOREYS)

ARCHITECTURAL - GENERAL NOTES

A1 All dimensions are to be confirmed on site by the builder/contractor. Any discrepancies must be reported to the Architect before commencement of any work.

A2 The Builder/contractor will be held responsible for any construction details which have not been approved by the Architect.

A3 In the event of encountering any discrepancies on these drawings, specification or subsequent instructions issued, the Builder/contractor shall contact the Architect before proceeding further with any work.

A4 The Builder/contractor will be held responsible for the establishment of the whole building for a minimum period of two years after the date of practical completion.

A5 It is the contractor's responsibility to have all Architectural & Structural documentation, including all site instructions any details issued during the course of construction, approved by the relevant authorities including the Local Council & the Water Board before any work may be proceeded with.

A6 All construction, control joints and expansion joints in the wall, floors, & other locations shall be in strict accordance with Architectural and/or Structural Engineering details. Joints or breaks other than specified, are allowed without written permission from the Architect and/or Engineer.

A7 Measurements for the fabrication of secondary components such as, windows, doors, internal frames, structural steel components and the like, are not to be taken from these documents. Measurements must be taken on site to suit the work as constructed.

A8 All structural components shall be in strict accordance to details and specifications as prepared by a structural engineer, and these details from part of the total specification.

A9 All existing structures must be examined for structural adequacy, and it is the Contractor's responsibility to ensure that a certificate of structural adequacy is available prior to the start of any work.

A10 No construction work shall commence until a site survey has been completed. This work must be performed by a registered Surveyor.

A11 Foundation set-out, to be performed by the Surveyor mentioned in A10 and recovery pegs must be protected during construction.

A12 All tender work is to comply with the requirements of the Light Timber Framing Code of S.A.A. Codes and Structural Engineer's details and specification.

A13 Copyright of all documentation and designs relating to both Architectural and Structural Engineering, are retained by the office. Written authority is required for any reproduction.

A14 All Architectural documentation to be read in conjunction with the Structural Engineer's details and specification.

A15 Comply with the 'hazardous material' clause of the specification.

IMPORTANT NOTE: It is the Tenderer's & Contractor's responsibility to check that all Architectural, Structural and all other job related documentation's have been received before tendering and/or construction may commence. Should there be any doubts to the availability of such documents the Architect should be notified before further details be needed, the tenderer and/or Contractor shall obtain such details before signing of contract documents. Failure to adhere to these conditions, the Tenderer and/or Contractor nullifies any right or claim for extras, due to interpretation of documentation, and the Architect's &/or Engineer's direction shall be carried out at no extra cost.

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JT	28.07.2023	A	DRAFT ISSUE FOR DEVELOPMENT APPLICATION
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AJ	12.12.2023	C	ISSUE FOR DEVELOPMENT APPLICATION

PROJECT

206-214 Lakemba Street, Lakemba NSW

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DRAWING NAME

LAKEMBA PLANNED PRECINT - LAND USES &
ZONING

SCALE @ A1:

SCALE @ A3:

DRAWN: JT

CHECKER: NK

DATE: 12.12.2023

JOB NO.

--

DRAWING NO.

A007

ISSUE:

C

Katris Architects Pty Ltd

Nominated Architects: Chris Katris (Reg 9724), Nick
Katris (Reg 3878), Peter Katris (Reg 4569)

Level 1, Suite 2, 28-30 Burwood Road,
Burwood NSW 2134

PO Box 703 Burwood 1805 NSW Australia

P 02 9744 5421

F 02 9747 5046

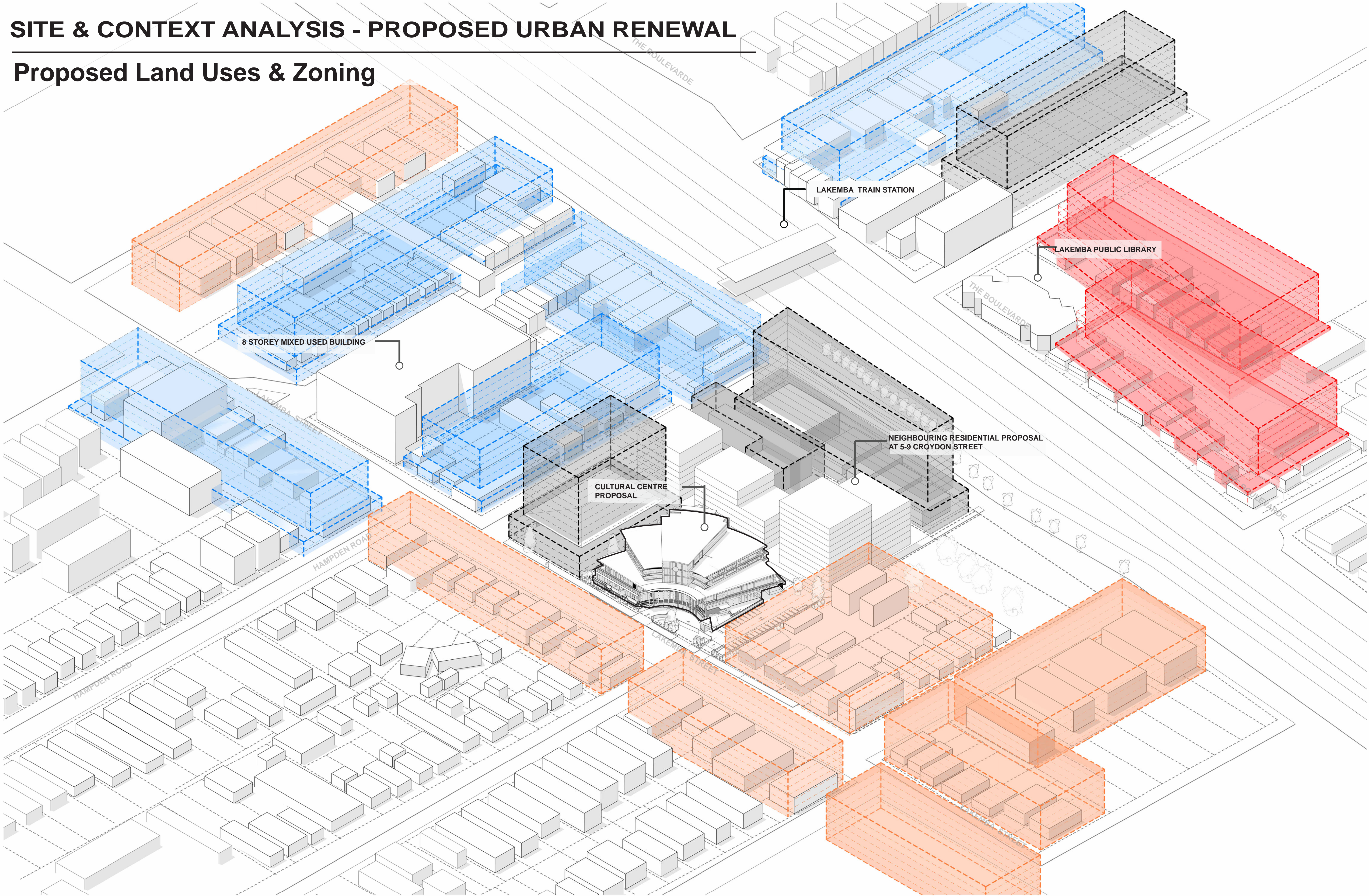
www.katris.com.au

ABN 79 001 639 970



SITE & CONTEXT ANALYSIS - PROPOSED URBAN RENEWAL

Proposed Land Uses & Zoning



ARCHITECTURAL - GENERAL NOTES

A1 All dimensions are to be confirmed on site by the builder/subcontractor; any incongruities must be reported to the Architect before commencement of any work.

A2 The Builder/subcontractor will be held responsible for any construction details which have not been approved by the Architect.

A3 In the event of encountering any discrepancies on these drawings, specification or subsequent instructions issued, the Builder/subcontractor shall contact the Architect before proceeding further with any work.

A4 The Builder/subcontractor will be held responsible for the safety of the site during the construction period of two years after the date of practical completion.

A5 It is the contractor's responsibility to have all Architectural & Structural documentation, including all site instructions any any details issued during the course of construction, approved by the relevant authorities including the Local Council & the Water Board before any work may be proceeded with.

A6 All construction, control joints and expansion joints in the wall, floors, & other locations shall be in strict accordance with Architectural and/or Structural Engineering details. Repairs or breaks other than specified, are allowed without written permission from the Architect and/or Engineer.

A7 Measurements for the fabrication of secondary components such as, windows, doors, internal frames, structural steel components and the like, are not to be taken from these documents. Measurements must be taken on site to suit the work as constructed.

A8 All structural components shall be in strict accordance to details and specifications as prepared by a structural engineer, and these details form part of the total specification.

A9 All existing structures need to be examined for structural adequacy, and it is the Contractor's responsibility to ensure that a certificate of structural adequacy is available prior to the start of any work.

A10 No construction work shall commence until a site survey has been completed. This work must be performed by a registered Surveyor.

A11 Foundation set-out, is to be performed by the Surveyor mentioned in A10 and recovery pegs must be protected during construction.

A12 All tender work to comply with the requirements of the Light Timber Framing Code S.A.A. Codes and Structural Engineer's details and specification.

A13 Copyrights of all documentation and designs relating to both Architectural and Structural Engineering, are retained by this office. Written authority is required for any reproduction.

A14 All Architectural documentation to be read in conjunction with the Structural Engineer's details and specification.

A15 Comply with the 'hazardous materials' clause of the specification.

IMPORTANT NOTE: It is the Tenderer's & Contractor's responsibility to check that all Architectural, Structural and all other job related documentation's have been received before tendering and/or construction may commence. Should there be any doubt to the availability of such documents to the Architect should be notified before further details be needed, the tenderer and/or Contractor shall obtain such details before signing of contract documents. Failure to adhere to these conditions, the Tenderer and/or Contractor nullifies any right or claim for extras, due to interpretation of documentation, and the Architect's &/or Engineer's direction shall be carried out at no extra cost.

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PROJECT

206-214 Lakemba Street, Lakemba NSW

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Greek Orthodox Community of NSW

DRAWING NAME

SITE AXO - PROPOSED LAND USES/ZONES

SCALE @ A1:

SCALE @ A3:

DRAWN: JT

CHECKER: NK

DATE: 12.12.2023

JOB NO.

--

DRAWING NO.

A008

ISSUE:

C

Katris Architects Pty Ltd

Nominated Architects: Chris Katris (Reg 9724), Nick Katris (Reg 3878), Peter Katris (Reg 4569)

Level 1, Suite 2, 28-30 Burwood Road, Burwood NSW 2134

PO Box 703 Burwood 1805 NSW Australia

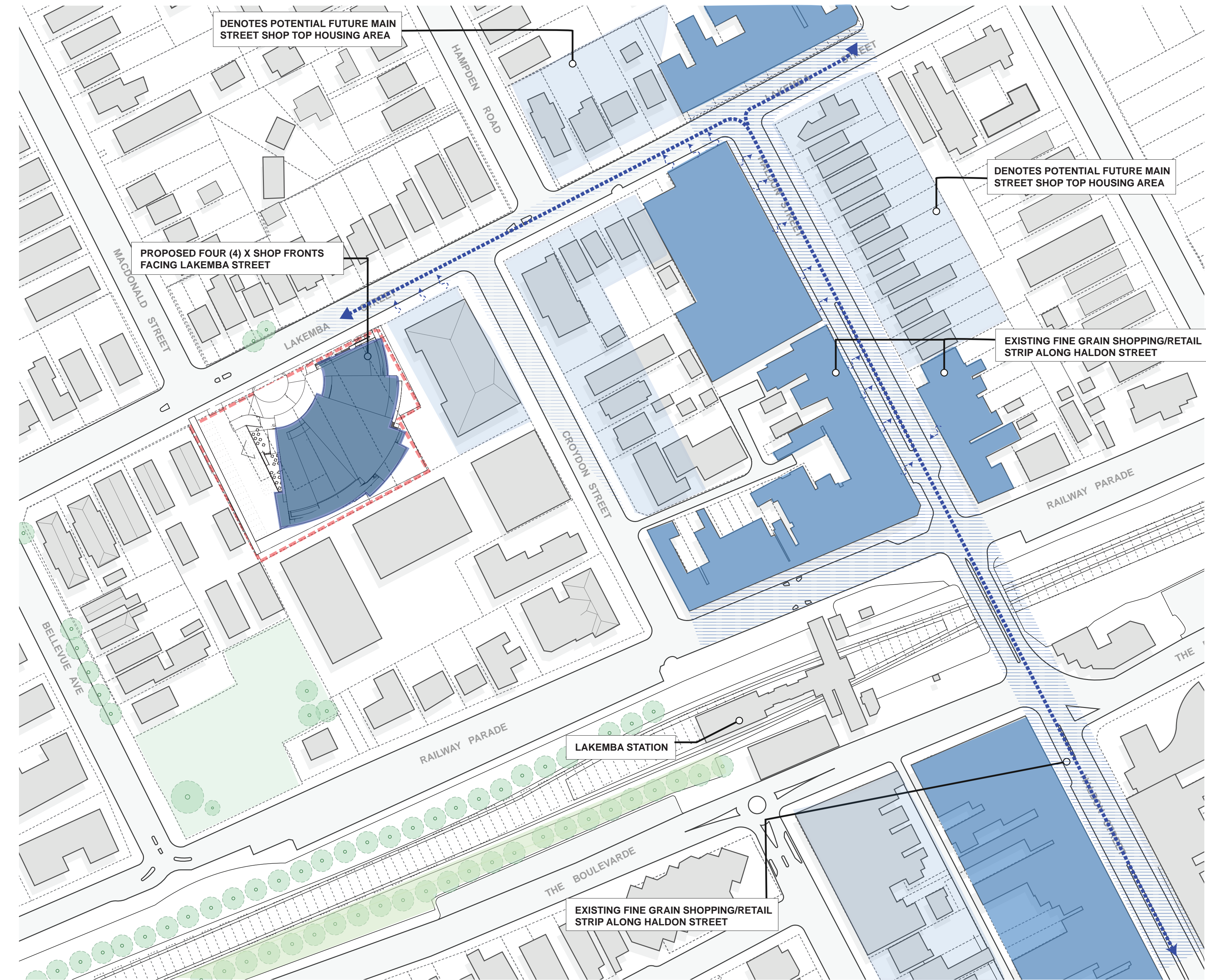
P 02 9744 5421 F 02 9747 5046

www.katris.com.au

ABN 79 001 639 970



PROPOSAL - PROPOSED SITE INTERACTION



A. CONTINUATION OF SHOP FRONTS TO CONNECT TO MAIN SHOP STREETS ALONG LAKEMBA STREET, CROYDON STREET TO INTERSECT WITH HALDON STREET

THE PROPOSED GREEK ORTHODOX COMMUNITY CENTRE PROVIDES ADDITIONAL RETAIL/SHOP FRONTS FACING ALONG LAKEMBA STREET WHICH PROVIDES ENHANCES THE STREET ACTIVA-TION ALONG LAKEMBA STREET TO INTERSECT WITH THE EXISITNG MAIN SHOP FRONT STREET , HALDON STREET

- PROPOSED GREEK ORTHODOX COMMUNITY CENTRE - SHOP FRONT AND RETAIL
- EXISTING FINE GRAIN SHOPPING/RETAIL STRIP
- POTENTIAL FUTURE SHOP TOP HOUSING AS PER “LAKEMBA PLANNED PRECINCT STRATEGY”
- EXISTING STREET ACTIVATION - SHOP FRONTS
- POTENTIAL FUTURE STREET ACTIVATION - SHOP FRONTS

ARCHITECTURAL - GENERAL NOTES

A1 All dimensions are to be confirmed on site by the builder/subcontractor, any incongruities must be reported to the Architect before commencement of any work.

A2 The Subcontractor will be held responsible for any construction details and to be approved by the Architect.

A3 In the event of encountering any discrepancies on these drawings, specification or subsequent instructions issued, the Builder/Subcontractor shall contact the Architect before proceeding further with any work.

A4 The Subcontractor will be held responsible for the maintenance of the above building for a minimum period of two years after the date of practical completion.

A5 It is the contractor's responsibility to have all Architectural & Structural documentation, including all site instructions any any details issued during the course of construction, approved by the relevant authorities including the local Council & the Water Board before any work may be proceeded with.

A6 All construction, control joints and expansion joints in the wall, floors, & other locations shall be in strict accordance with Architectural and/or Structural Engineering details. No joints or breaks other than specified, are allowed without written permission from the Architect and/or Engineer.

A7 Measurements for the fabrication of secondary components such as, windows, doors, internal frames, structural steel components and the like, are not to be taken from these documents. Measurements must be taken on site to suit the work as constructed.

A8 All structural components shall be in strict accordance to details and specifications as prepared by a structural engineer, and those details from part of the total specification.

A9 All existing structures need to be examined for structural adequacy, and it is the Contractor's responsibility to ensure that a certificate of structural adequacy is available prior to the start of any work.

A10 No construction work shall commence until a site survey has been completed. This work must be performed by a registered Surveyor.

A11 Foundation set-out, is to be performed by the Surveyor mentioned in A10 and recovery pegs must be protected during construction.

A12 All timber work is to comply with the requirements of the Light Timber Framing Code of A.S. Codes and Structural Engineer's details and specification.

A13 Copyright of all documentation and designs relating to both Architectural and Structural Engineering, are retained by the office. Written authority is required for any reproduction.

A14 All Architectural documentation to be read in conjunction with the Structural Engineer's details and specification.

A15 Comply with the "hazardous materials" clause of the specification.

IMPORTANT NOTE: It is the Tenderer's & Contractor's responsibility to check that all Architectural, Structural and all other job related documentation have been received before tendering and/or construction may commence. Should there be any doubt to the availability of such documents the Architect should be notified before further details be received, the tenderer and/or Contractor shall obtain such details before signing of contract documents. Failure to adhere to these conditions, the Tenderer and/or Contractor nullifies any right or claim for extras, due to interpretation of documentation, and the Architects &/or Engineer's direction shall be carried out at no extra cost.

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AJ	12.12.2023	C	ISSUE FOR DEVELOPMENT APPLICATION

PROJECT

206-214 Lakemba Street, Lakemba NSW

SADAD

CLIENT

Greek Orthodox Community of NSW

DRAWING NAME

PROPOSAL - PROPOSED SITE INTERACTION

SCALE @ A1:
SCALE @ A3:

DRAWN: JT
CHECKER: NK

DATE: 12.12.2023

JOB NO.
--

DRAWING NO.
A009

ISSUE:
C

Katris Architects Pty Ltd

Nominated Architects: Chris Katris (Reg 9724), Nick Katris (Reg 3878), Peter Katris (Reg 4569)

Level 1, Suite 2, 28-30 Burwood Road, Burwood NSW 2134

PO Box 703 Burwood 1805 NSW Australia

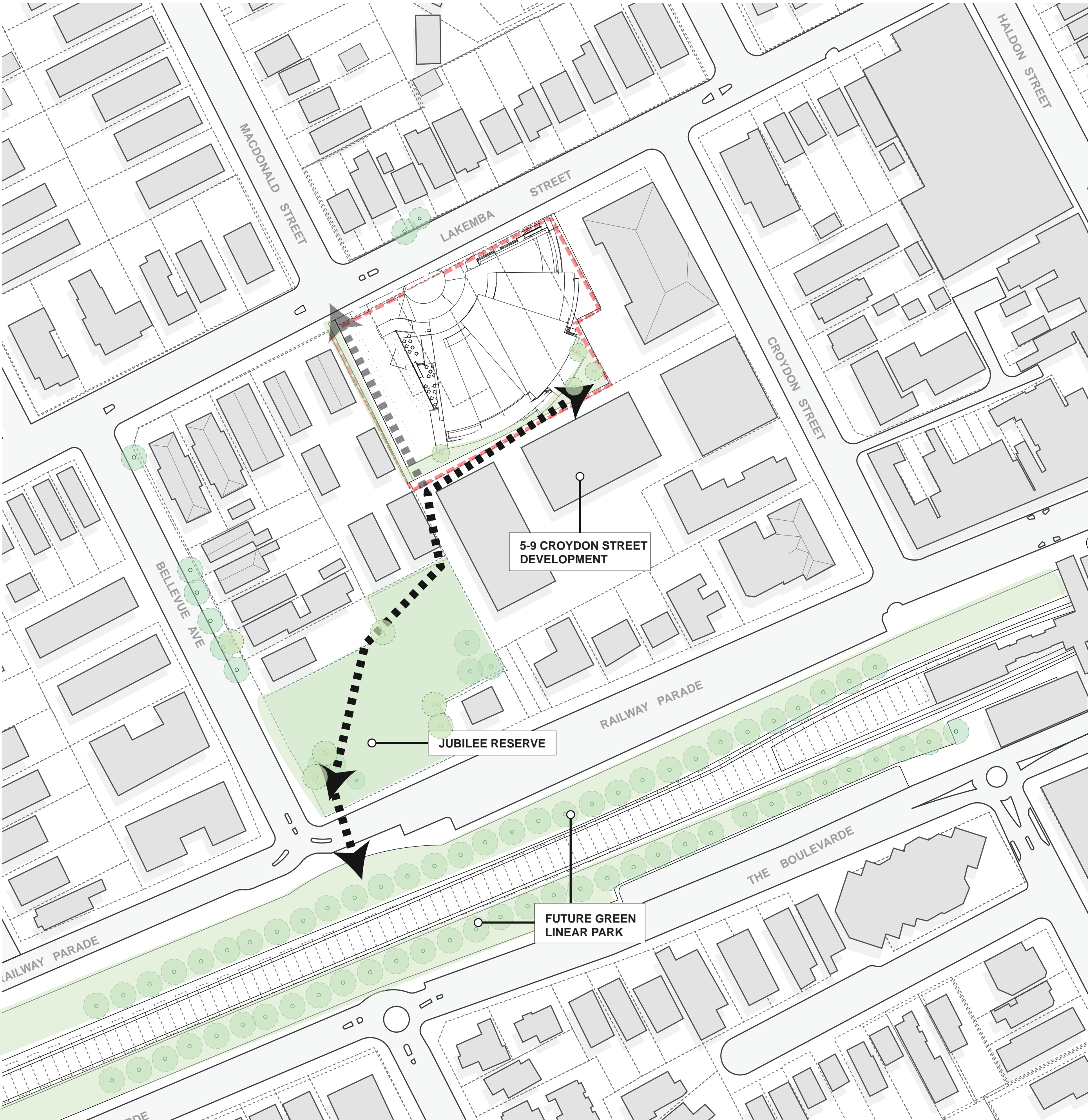
P 02 9744 5421 F 02 9747 5046

www.katris.com.au

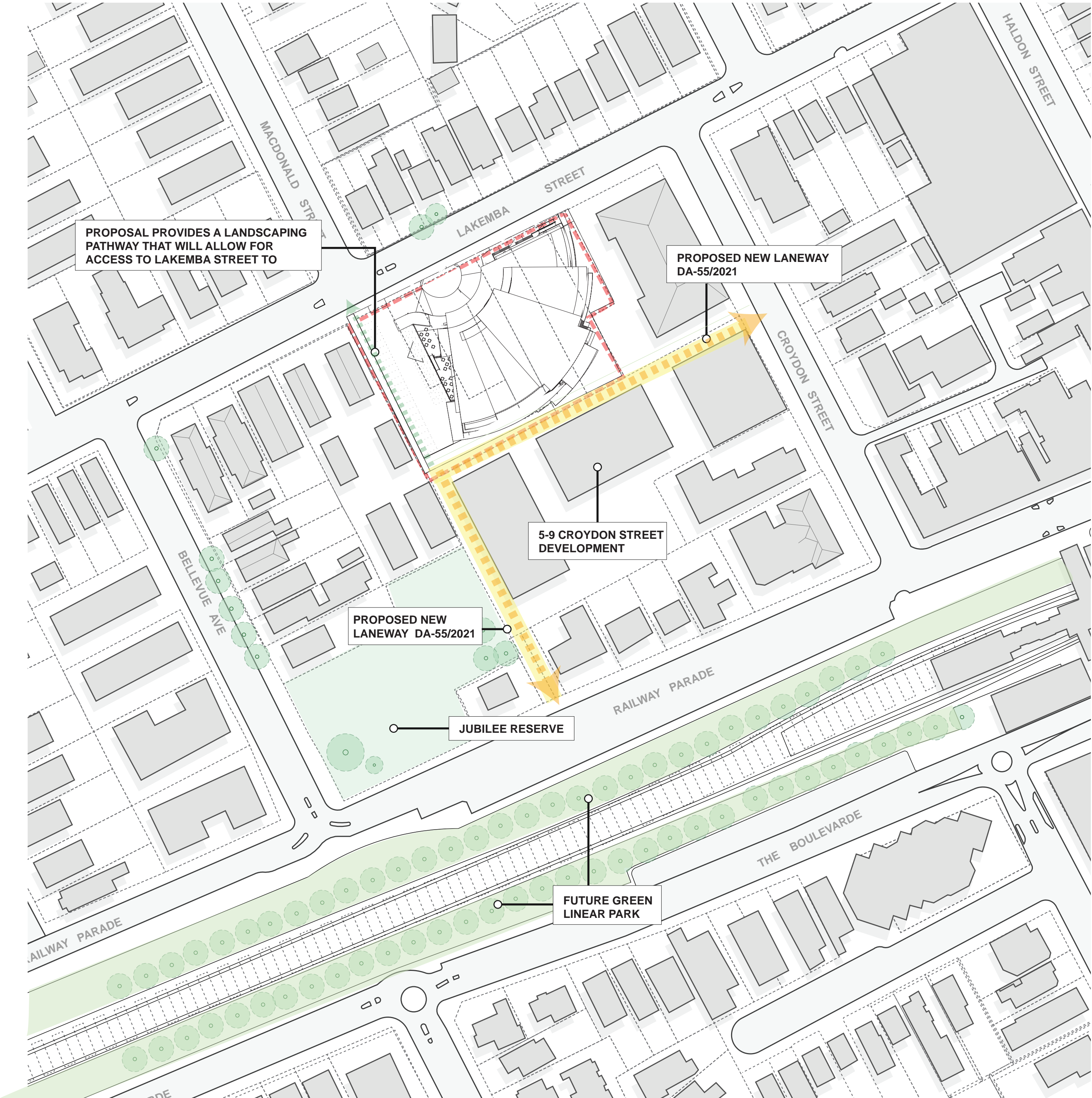
ABN 79 001 639 970



PROPOSAL - PROPOSED SITE INTERACTION



1:1000 @ A1
1:2000 @ A3



1:1000 @ A1
1:2000 @ A3

ARCHITECTURAL - GENERAL NOTES

A1 All dimensions are to be confirmed on site by the builder/contractor. Any discrepancies must be reported to the Architect before commencement of any work.

A2 The Builder/contractor shall be held responsible for any construction details which have not been approved by the Architect.

A3 In the event of encountering any discrepancies on these drawings, specification or subsequent instructions issued, the Builder/contractor shall contact the Architect before proceeding further with any work.

A4 The Builder/contractor shall be held responsible for the safety of the site during the construction period of two years after the date of practical completion.

A5 It is the contractor's responsibility to have all Architectural & Structural documentation, including all site instructions any details issued during the course of construction, approved by the relevant authorities including the Local Council & the Water Board before any work may be proceeded with.

A6 All construction, control joints and expansion joints in the wall, floors, & other locations shall be in strict accordance with Architectural and/or Structural Engineering details. No joints or breaks other than specified, are allowed without written permission from the Architect and/or Engineer.

A7 Measurements for the fabrication of secondary components such as, windows, doors, internal frames, structural steel components and the like, are not to be taken from these documents. Measurements must be taken on site to suit the work as constructed.

A8 All structural components shall be in strict accordance to details and specifications as prepared by a structural engineer, and these details form part of the total specification.

A9 All existing structures must be examined for structural adequacy, and it is the Contractor's responsibility to ensure that a certificate of structural adequacy is available prior to the start of any work.

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A11 Foundation set-out, is to be performed by the Surveyor mentioned in A10 and recovery pegs must be protected during construction.

A12 All timber work is to comply with the requirements of the Light Timber Framing Code S.A.A. Codes and Structural Engineer's details and specification.

A13 Copyright of all documentation and designs relating to both Architectural and Structural Engineering, are retained by this office. Written authority is required for any reproduction.

A14 All Architectural documentation to be read in conjunction with the Structural Engineer's details and specification.

A15 Comply with the 'hazardous materials' clause of the specification.

IMPORTANT NOTE: It is the Tenderer's & Contractor's responsibility to check that all Architectural, Structural and all other job related documentation's have been received before tendering and/or construction may commence. Should there be any doubt to the availability of such documents the Architect should be notified before further details be needed, the tenderer and/or Contractor shall obtain such details before signing of contract documents. Failure to adhere to these conditions, the Tenderer and/or Contractor nullifies any right or claim for extras, due to interpretation of documentation, and the Architect's &/or Engineer's direction shall be carried out at the tenderer's cost.

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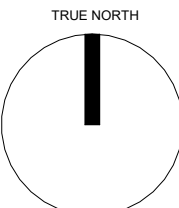
PROJECT

206-214 Lakemba Street, Lakemba NSW

SADAD

CLIENT

Greek Orthodox Community of NSW



DRAWING NAME

NEW PEDESTRIAN LANEWAYS & GREEN SPACES

SCALE @ A1:

SCALE @ A3:

DRAWN: JT

CHECKER: NK

DATE: 12.12.2023

JOB NO.

--

DRAWING NO.

A010

ISSUE:

C

Katris Architects Pty Ltd

Nominated Architects: Chris Katris (Reg 9724), Nick Katris (Reg 3678), Peter Katris (Reg 4569)

Level 1, Suite 2, 28-30 Burwood Road, Burwood NSW 2134

PO Box 703 Burwood 1805 NSW Australia

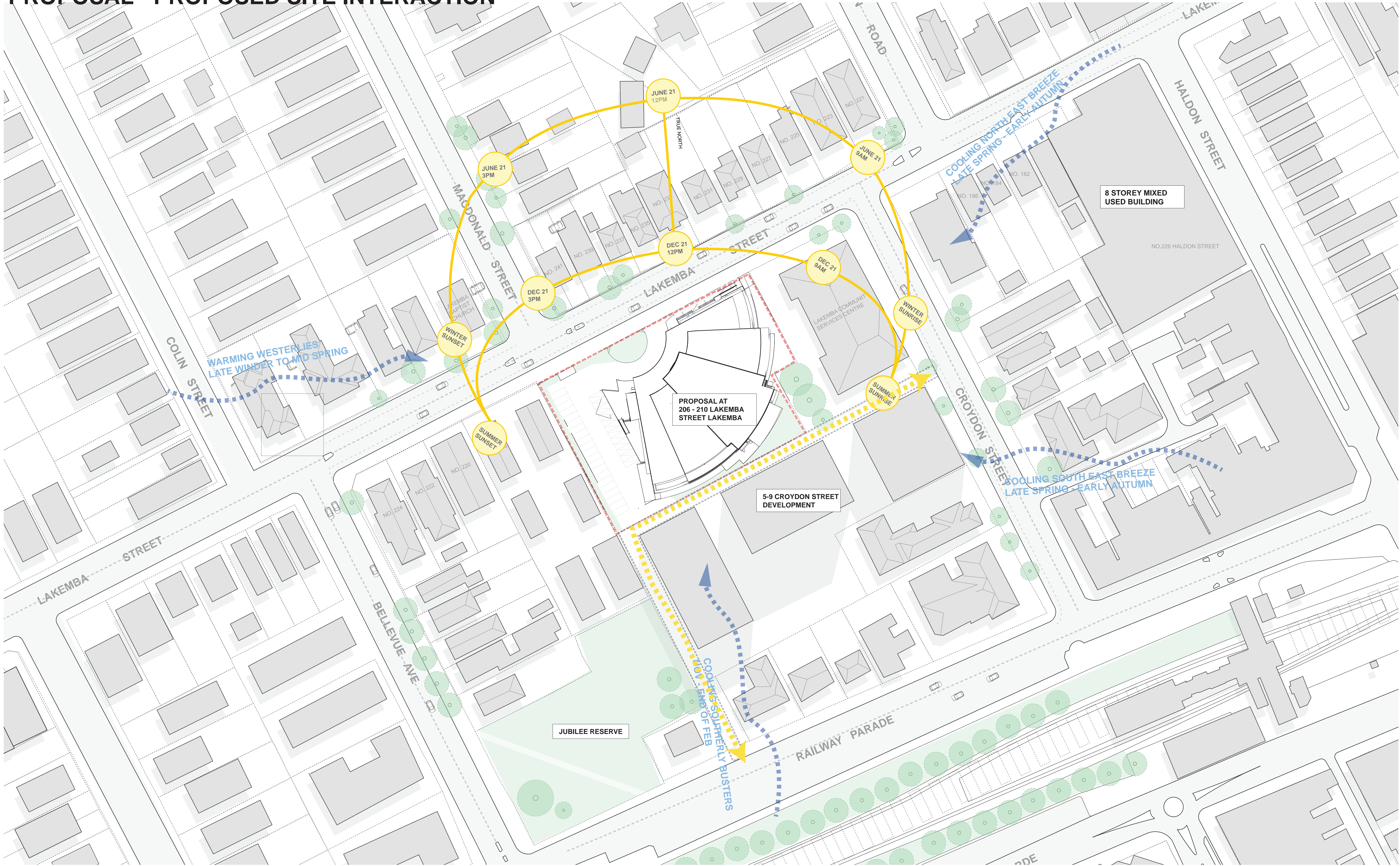
P 02 9744 5421 F 02 9747 5046

www.katris.com.au

ABN 79 001 639 970



PROPOSAL - PROPOSED SITE INTERACTION



ARCHITECTURAL - GENERAL NOTES

A1 All dimensions are to be confirmed on site by the builder/subcontractor; any discrepancies must be reported to the Architect before commencement of any work.

A2 The Builder/subcontractor will be held responsible for any construction details which have not been approved by the Architect.

A3 In the event of encountering any discrepancies in these drawings, specifications or subsequent instructions issued, the Builder/subcontractor shall contact the Architect before proceeding further with any work.

A4 The Builder/subcontractor will be held responsible for the watertightness of the whole building for a minimum period of two years after the date of practical completion.

A5 It is the contractor's responsibility to have all Architectural & Structural documentation, including all site instructions or any details issued during the course of construction, approved by the relevant authorities including the local Council & the Water Board before any work may be proceeded with.

A6 All construction, control joints and expansion joints in the wall, floor, & other locations shall be in strict accordance with Architectural and/or Structural Engineering details. Nipples or breakers other than specified, are allowed without written permission from the Architect and/or Engineer.

A7 Measurements for the fabrication of secondary components such as, windows, doors, internal frames, structural steel components and the like, are not to be taken from these documents. Measurements must be taken on site to suit the work as constructed.

A8 All structural components shall be in strict accordance to details and specifications as prepared by a structural engineer, and those details from part of the total specification.

A9 All existing structures must be examined for structural adequacy, and it is the Contractor's responsibility to ensure that a certificate of structural adequacy is available prior to the start of any work.

A10 No construction work shall commence until a site survey has been completed. The work must be performed by a registered Surveyor.

A11 Foundation layout, to be performed by the Surveyor, must be in strict accordance with the Architect's and Structural Engineer's details and specifications.

A12 All interior work is to comply with the requirements of the Light Timber Framing Code S.A.A. Codes and Structural Engineer's details and specifications.

A13 Copyrights of all documents and designs relating to both Architectural and Structural Engineering, are retained by this office. Written authority is required for any reproduction.

A14 All Architectural documentation to be read in conjunction with the Structural Engineer's details and specifications.

A15 Compliance with the 'neighbourhood' clause of the specification.

IMPORTANT NOTE: It is the Tenderer's & Contractor's responsibility to check that all Architectural, Structural and all other job related documentation have been received before tendering and/or construction may commence. Should there be any doubt in the availability of such documents the Architect should be notified before further details are received. The Tenderer and/or Contractor shall obtain such details before signing of contract documents. Failure to adhere to these conditions, the Tenderer and/or Contractor nullifies any right or claim for extras, due to interpretation of documentation, and the Architect's & Engineer's direction shall be carried out at no extra cost.

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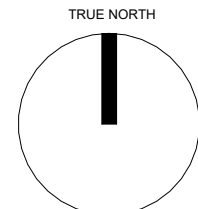
PROJECT

206-214 Lakemba Street, Lakemba NSW

SADAD

CLIENT

Greek Orthodox Community of NSW



DRAWING NAME

PROPOSED SITE PLAN

SCALE @ A1:
SCALE @ A3:

DRAWN: JT
CHECKER: NK

DATE: 12.12.2023

JOB NO.
--

DRAWING NO.
A011

ISSUE:
C

Katris Architects Pty Ltd

Nominated Architects: Chris Katris (Reg 9724), Nick Katris (Reg 3878), Peter Katris (Reg 4569)

Level 1, Suite 2, 28-30 Burwood Road, Burwood NSW 2134

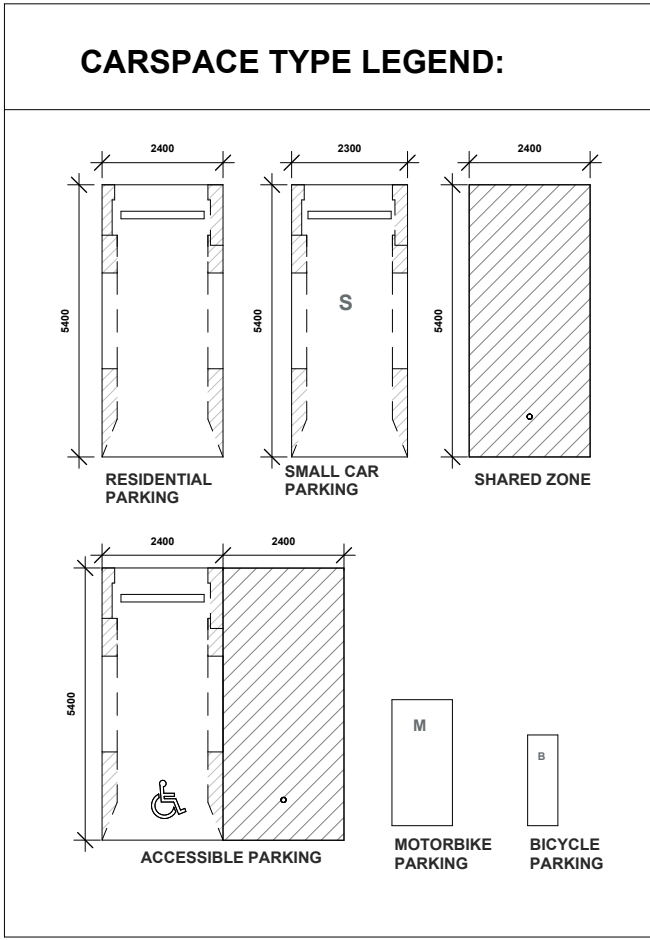
PO Box 703 Burwood 1805 NSW Australia

P 02 9744 5421 F 02 9747 5046

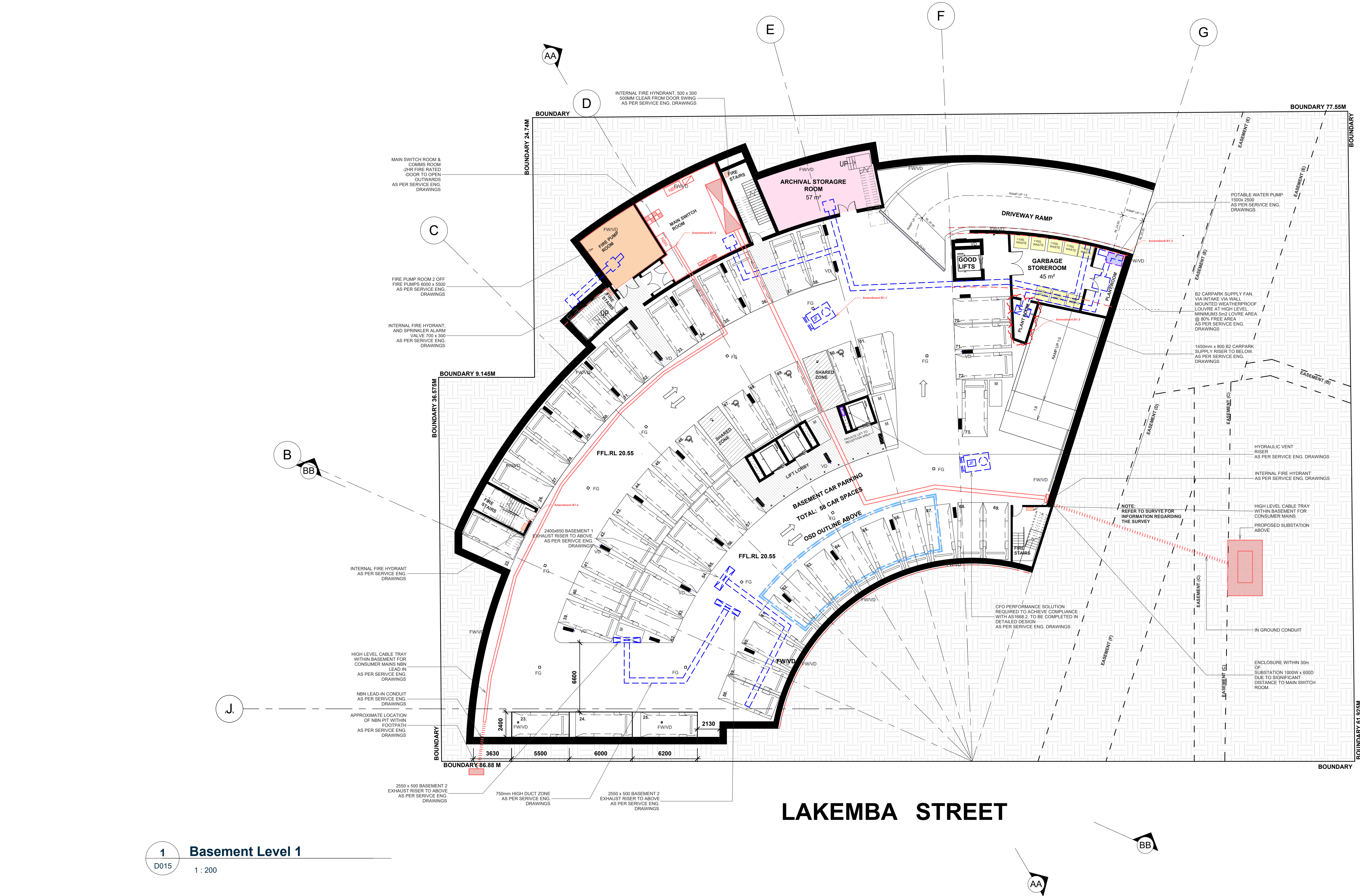
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ABN 79 001 639 970

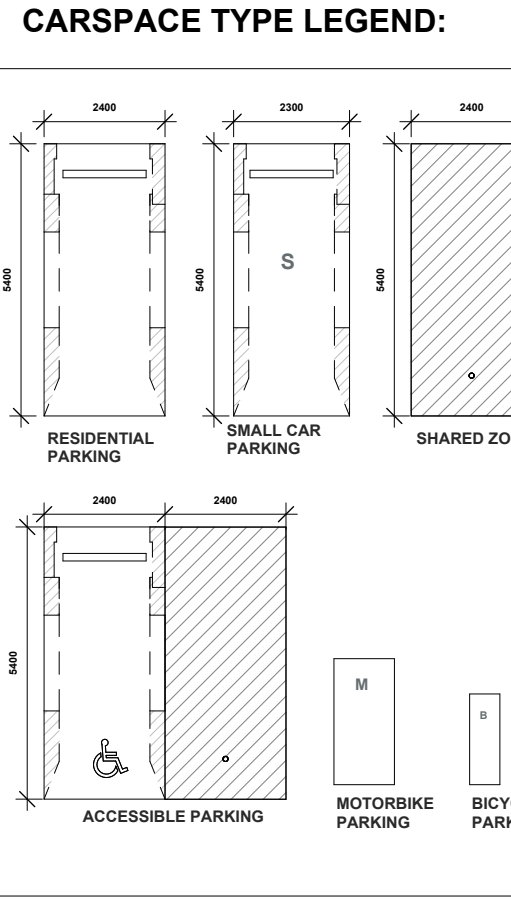




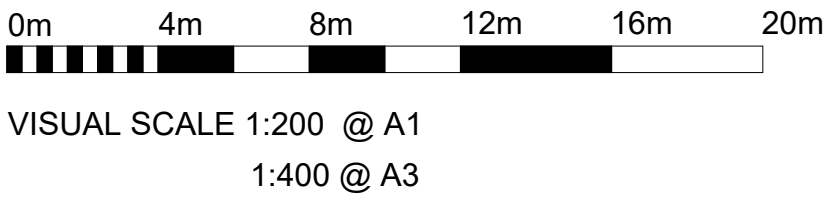
VISUAL SCALE 1:200 @ A1
1:400 @ A3



- ABBREVIATIONS**
- S** = DENOTES HARD WIRED SMOKE ALARMS SMOKE-ALARMS WILL BE INSTALLED IN ACCORDANCE WITH THE NC2 2019 VOL.1 AND AS 3786-2014.
 - fw** = DENOTES FLOOR WASTES AS PER NCC 2019 VOL.1. DRAINAGE FLANGES/ODDLE FLANGES MUST BE INSTALLED TO ALL FLOOR WASTES DURING THE WATERPROOFING STAGES. REFER TO ARCH SPEC AND MANUFACTURERS REQS. REFER TO TYPICAL INDOOR AND OUTDOOR WATERPROOFING DETAIL.
 - NG.RL. 00** = DENOTES NEW PROPOSED NATURAL GROUND LEVEL.
 - FFL.RL. 00** = DENOTES FINISH FLOOR LEVEL.
 - DP** = DENOTES DOWN PIPES TO STORMWATER AND HYDRAULIC ENGS DETALS.
 - WS** = DENOTES WHEEL STOP TO AS2980.1.
 - BO** = BOLLARD AS PER AS2890.6 AND BCA 2019 AMDT 1 VOL. 1.
 - OF** = OVERFLOW TO STORMWATER AND HYDRAULIC ENGS DETAILS.
 - VD** = VERT. DROP AS PER ENGS DETAILS.
 - IO** = INSPECTION OPENING AS PER ENGS DETAILS.
 - CO** = CLEANING EYE (OR INSPECTION EYE) AS PER ENGS DETAILS.
 - PG** = PLANTER GRATE AS PER ENGS DETAILS.
 - RWP** = STORMWATER PIT AS PER ENGS DETAILS.
 - RWO** = DENOTES RAIN-WATER OUTLET TO STORMWATER ENGS DETAILS.
 - TGSI** = DENOTES TACTILE GROUND SURFACE INDICATOR. TACTILE GROUND SURFACE INDICATORS (TGSI) ARE TO BE PROVIDED TO:
 - ALL RAMPS AND STAIRS
 - ALL OVERHEAD OBSTRUCTIONS <2M ABOVE FLOOR LEVEL
 - TGSI ARE TO BE PROVIDED IN ACCORDANCE WITH AS1428.4.1 & 2
 - FG** = DENOTES FLOOR GRATE (MIN. 1% FALL TO FLOOR GRATE) TO STORMWATER AND HYDRAULIC ENGS DETAILS.
 - Trees** = DENOTES TREES TO BE REMOVED.



NOTE:
SERVICES DRAWINGS WILL HAVE TO BE FURTHER AMENDED TO SUITE THE ARCHITECTURALS. HOWEVER THERE IS NO IMPACT ON THE SERVICE DRAWINGS DUE TO THE CHANGES IN THE ARCHITECTURALS BECAUSE THE SERVICES ESSENTIALLY REMAIN THE SAME. MINOR CHANGES HAVE OCCURED WITH THE LOCATION OF THE SUBSTATION



ARCHITECTURAL - GENERAL NOTES

A1 All dimensions are to be confirmed on site by the builder/subcontractor, any incongruities must be reported to the Architect before commencement of any work.

A2 The Builder/subcontractor will be held responsible for any construction details which have not been approved by the Architect.

A3 In the event of encountering any discrepancies on these drawings, specification or subsequent instructions issued, the Builder/subcontractor shall contact the Architect before proceeding further with any work.

A4 The Builder/subcontractor will be held responsible for the safety of the building for a minimum period of two years after the date of practical completion.

A5 It is the contractor's responsibility to have all Architectural & Structural documentation, including all site instructions any any details issued during the course of construction, approved by the relevant authorities including the local Council & the Water Board before any work may be proceeded with.

A6 All construction, control joints and expansion joints in the wall, floors, & other locations shall be in strict accordance with Architectural and/or Structural Engineering details. Nipoints or breakers other than specified, are allowed without written permission from the Architect and/or Engineer.

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A8 All structural components shall be in strict accordance to details and specifications as prepared by a structural engineer, and these details from part of the total specification.

A9 All existing structures need to be examined for structural adequacy, and it is the Contractor's responsibility to ensure that a certificate of structural adequacy is available prior to the start of any work.

A10 No construction work shall commence until a site survey has been completed. This work must be performed by a registered Surveyor.

A11 Foundation set-out, is to be performed by the Surveyor mentioned in A10 and recovery pegs must be protected during construction.

A12 All labor work to comply with the requirements of the Light Timber Framing Code of Practice, AS 4567, and all other relevant standards and specifications.

A13 Copyright of all documentation and designs relating to both Architectural and Structural Engineering, are retained by this office. Written authority is required for any reproduction.

A14 All Architectural documentation to be read in conjunction with the Structural Engineer's details and specification.

A15 Comply with the 'hazardous materials' clause of the specification.

IMPORTANT NOTE: It is the Tenderer's & Contractor's responsibility to check that all Architectural, Structural and all other job related documentation's have been received before tendering and/or construction may commence. Should there be any doubt to the availability of such documents the Architect should be notified before further details be needed, the tenderer and/or Contractor shall obtain such details before signing of contract documents. Failure to adhere to these conditions, the Tenderer and/or Contractor nullifies any right or claim for extras, due to interpretation of documentation, and the Architect's &/or Engineer's direction shall be carried out at no extra cost.

DRAWN	DATE	ISSUE	AMENDMENT
NB	11.06.2024	A	RESPONSE TO COUNCIL RFI

PROJECT

206-214 Lakemba Street, Lakemba NSW

SADAD

CLIENT

Greek Orthodox Community of NSW

DRAWING NAME

PROPOSED BASEMENT PLAN LEVEL 1

SCALE @ A1: As indicated

SCALE @ A3:

DRAWN: JT

CHECKER: NK

DATE: 15.07.2024

JOB NO.

--

DRAWING NO.

D015

ISSUE:

D

Katris Architects Pty Ltd

Nominated Architects: Chris Katris (Reg 9724), Nick Katris (Reg 3878), Peter Katris (Reg 4569)

Level 1, Suite 2, 28-30 Burwood Road, Burwood NSW 2134

PO Box 703 Burwood 1805 NSW Australia

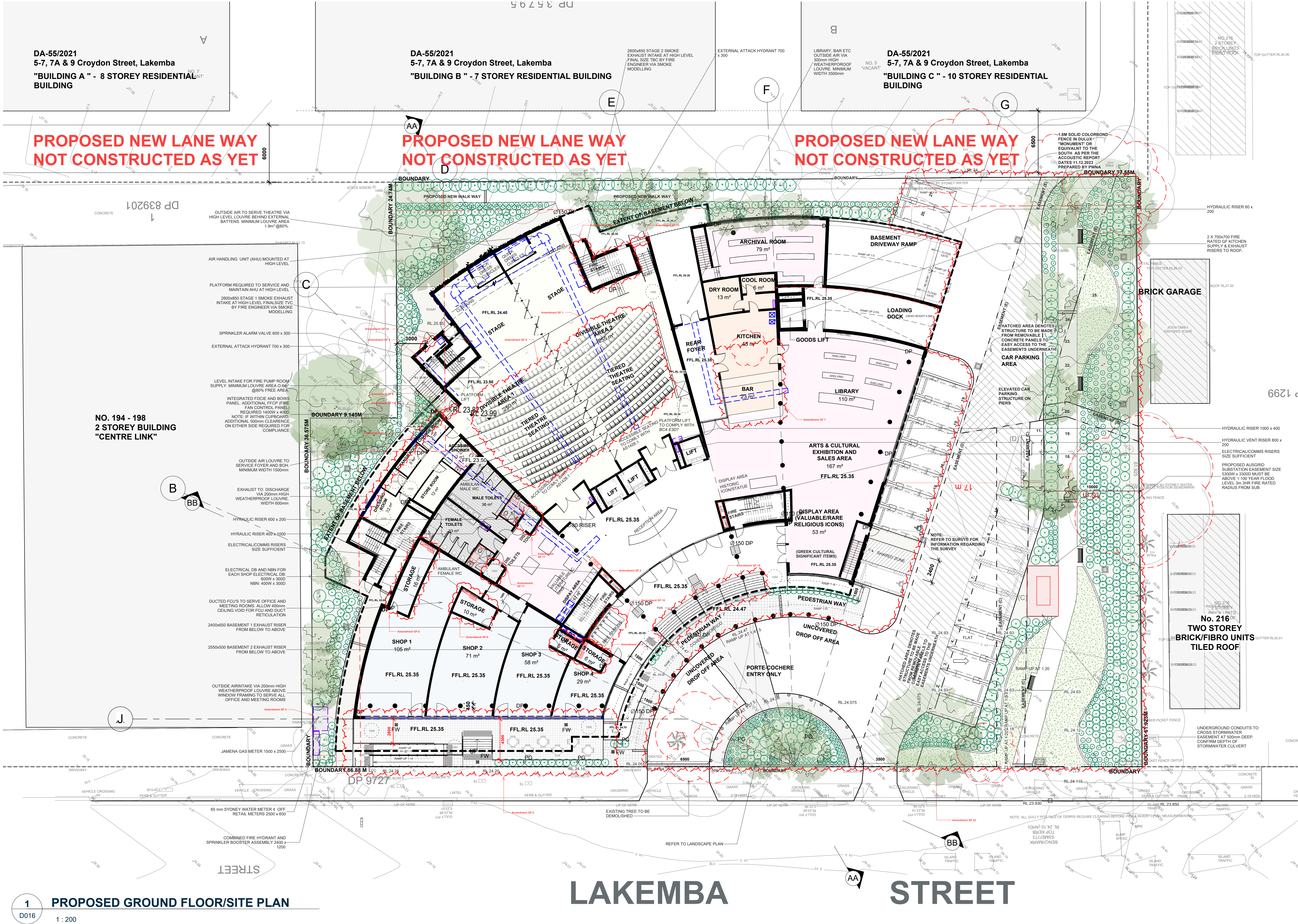
P 02 9744 5421

F 02 9747 5046

www.katris.com.au

ABN 79 001 639 970



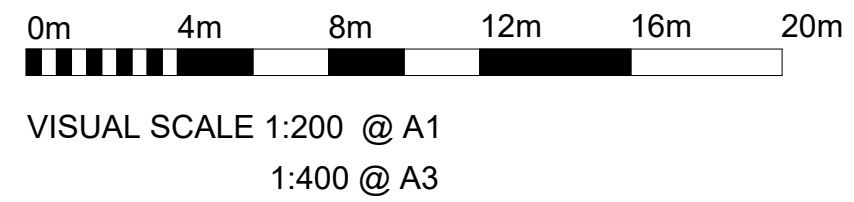


AREAS LEGEND:

- DENOTES PROPOSED **COMMERCIAL/RETAIL** AREA
- DENOTES PROPOSED **POKER/GAMES ROOM** AREA
- DENOTES PROPOSED **ART & CULTURAL EXHIBITION & SALES AREA**
- DENOTES PROPOSED **OFFICE/MEETING ROOM** AREA
- DENOTES PROPOSED **KITCHEN & BAR AREAS**
- DENOTES PROPOSED **THEATRE/FUNCTION** AREA
- DENOTES PROPOSED **TOILET/WET AREA**
- DENOTES PROPOSED **MEMBER'S LOUNGE** AREA
- DENOTES PROPOSED **KID'S PLAY AREA**
- DENOTES PROPOSED **RESTAURANT AREA**

SCHEDULE OF AREAS (LETTABLE):

- GROUND FLOOR:**
- COMMERCIAL/SHOPS (LETTABLE AREA):**
 - Shop 1 = 125 m²
 - Shop 2 = 88 m²
 - Shop 3 = 66 m²
 - Shop 4 = 38 m²Total Commercial/Shop area = 317 m²
 - THEATRE (LETTABLE AREA):**
 - Divisible Theatre Area 1 = 250 m²
 - Divisible Theatre Area 2 = 259 m²
 - Theatre Dressing Room Areas = 63m²Total Theatre Area = 572m²
 - BAR (LETTABLE AREA) = 23 m²**
 - KITCHEN (LETTABLE AREA) = 42 + 13 + 6 = 61 m²**
- TOTAL LETTABLE AREA ON GROUND FLOOR = 973 m²**
- LEVEL 1:**
- FUNCTION (LETTABLE AREA):**
 - Divisible Function Area 1 = 266 m²
 - Divisible Function Area 2 = 271 m²
 - Divisible Function Area 3 = 102 m²
 - Theatre Dressing Room Areas = 72 m²Total Function Area (Lettable) = 711 m²
 - POKER MACHINE & GAMES ROOM (LETTABLE AREA) = 145 m²**
 - BAR (LETTABLE AREA) = 63 m²**
 - KITCHEN (LETTABLE AREA) = 74 + 36 = 110 m²**
 - KIDS PLAY AREA (LETTABLE AREA) = 114m²**
- TOTAL LETTABLE AREA ON LEVEL 1 = 1143m²**
- LEVEL 2:**
- GREEK ORTHODOX COMMUNITY USE ONLY:**
- TOTAL OFFICE SPACES = 36 + 8 + 20 + 18 + 15 = 97 m²**
 - MEETING ROOM = 63 + 169 + 61 + 91 + 52 + 52 = 488m²**
 - BOARD ROOM = 45m²**
 - PRESIDENT ROOM = 28 m²**
- LEVEL 3:**
- RESTAURANT (LETTABLE AREA) = 412 m²**
 - KITCHEN = 62m²**
 - TOTAL OFFICE AREAS (LETTABLE AREA) = 285 m²**
 - TOTAL MEETING ROOM AREAS (LETTABLE AREA) = 110m²**
- TOTAL LETTABLE AREA ON LEVEL 3 = 859 m²**
- LEVEL 4:**
- RECEPTION LOUNGE:**
- RECEPTION AREA = 462m²
 - STORAGE ROOM = 27 m²
 - TOILETS = 22 + 18 + 7 = 37m²
 - KITCHEN = 53m²
- INFORMAL LOUNGE/ SITTING AREA = 68m²**
- TOTAL LETTABLE AREAS ON LEVEL 4 = 647m²**
- TOTAL LETTABLE AREA PER FLOOR:**
- GROUND FLOOR LETTABLE AREA = 973 m²
- LEVEL 1 LETTABLE AREA = 1143m²
- LEVEL 3 LETTABLE AREA = 859m²
- LEVEL 4 LETTABLE AREA = 647m²
- TOTAL LETTABLE AREA = 3622 m² (50.2% OF GFA)**
- TOTAL GROSS FLOOR AREA = 7202.1**



ARCHITECTURAL - GENERAL NOTES

A1 All dimensions are to be confirmed on site by the builder/contractor. Any discrepancies must be reported to the Architect before commencement of any work.

A2 The Builder/contractor shall be held responsible for any construction details which have not been approved by the Architect.

A3 In the event of encountering any discrepancies on these drawings, specification or subsequent instructions issued, the Builder/contractor shall contact the Architect before proceeding further with any work.

A4 The Builder/contractor shall be held responsible for the safety of the site during the construction period of two years after the date of practical completion.

A5 It is the contractor's responsibility to have all Architectural & Structural documentation, including all site instructions any any details issued during the course of construction, approved by the relevant authorities including the Local Council & the Water Board before any work may be proceeded with.

A6 At construction, control points and separation points in the wall, floors, & other locations shall be in strict accordance with Architectural and/or Structural Engineering details. Nipoints or breakers other than specified, are allowed without written permission from the Architect and/or Engineer.

A7 Measurements for the fabrication of secondary components such as, windows, doors, internal frames, structural steel components and the like, are not to be taken from these documents. Measurements must be taken on site to suit the work as constructed.

A8 All structural components shall be in strict accordance to details and specifications as prepared by a structural engineer, and these details from part of the total specification.

A9 All existing structures must be examined for structural adequacy, and it is the Contractor's responsibility to ensure that a certificate of structural adequacy is available prior to the start of any work.

A10 No construction work shall commence until a site survey has been completed. This work must be performed by a registered Surveyor.

A11 Foundation reticul, is to be performed by the Surveyor mentioned in A10 and recovery pegs must be protected during construction.

A12 All interior work is to comply with the requirements of the Light Timber Framing Code of Practice, and all other job related documentation's have been received before tendering and/or construction may commence. Should there be any doubt to the availability of such documents the Architect should be notified before further details be needed, the tenderer and/or Contractor shall obtain such details before signing of contract documents. Failure to adhere to these conditions, the Tenderer and/or Contractor nullifies any right or claim for extras, due to interpretation of documentation, and the Architect &/or Engineer's decision shall be carried out at the tenderer's cost.

DRAWN DATE ISSUE AMENDMENT

NB 11.06.2024 A RESPONSE TO COUNCIL RP1

PROJECT

206-214 Lakemba Street, Lakemba NSW

SADAD

CLIENT

Greek Orthodox Community of NSW

NOTE:

SERVICES DRAWINGS WILL HAVE TO BE FURTHER AMENDED TO SUITE THE ARCHITECTURALS. HOWEVER THERE IS NO IMPACT ON THE SERVICE DRAWINGS DUE TO THE CHANGES IN THE ARCHITECTURALS BECAUSE THE SERVICES ESSENTIALLY REMAIN THE SAME. MINOR CHANGES HAVE OCCURRED WITH THE LOCATION OF THE SUBSTATION

NOTE:

FOR INFORMATION REGARDING THE ARBORIST REPORT IN CONNECTION FOR WHICH TREES ARE TO BE REMOVED OR RETAINED REFER TO SHEET D050

DRAWING NAME

PROPOSED GROUND FLOOR PLAN

SCALE @ A1: As indicated

SCALE @ A3:

DRAWN: JT

CHECKER: NK

DATE: 15.07.2024

JOB NO.

--

DRAWING NO.

D016

ISSUE:

D

Katris Architects Pty Ltd

Nominated Architects: Chris Katris (Reg 9724), Nick Katris (Reg 3878), Peter Katris (Reg 4569)

Level 1, Suite 2, 28-30 Burwood Road, Burwood NSW 2134

PO Box 703 Burwood 1805 NSW Australia

P 02 9744 5421 F 02 9747 5046

www.katris.com.au

ABN 79 001 639 970



AREAS LEGEND:

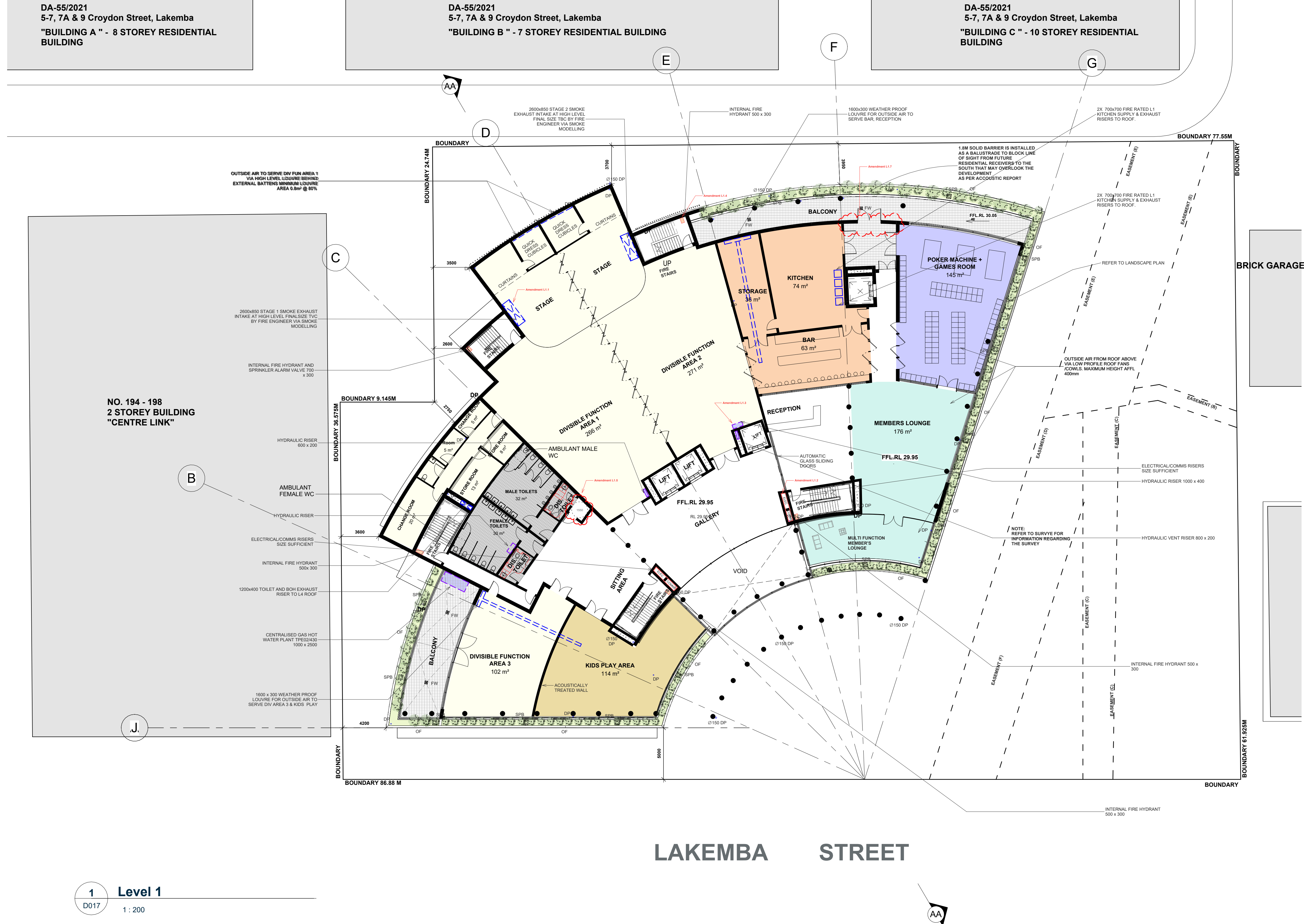
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- DENOTES PROPOSED **POKER/GAMES ROOM** AREA
- DENOTES PROPOSED **ART & CULTURAL EXHIBITION & SALES AREA**
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- DENOTES PROPOSED **TOILET/WET AREA**
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- DENOTES PROPOSED **KID'S PLAY AREA**
- DENOTES PROPOSED **RESTAURANT AREA**

SCHEDULE OF AREAS (LETTABLE):

- GROUND FLOOR:**
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TOTAL LETTABLE AREA = 3622 m² (50.2% OF GFA)
TOTAL GROSS FLOOR AREA = **7202.1**



VISUAL SCALE 1:200 @ A1
1:400 @ A3



NOTE:
SERVICES DRAWINGS WILL HAVE TO BE FURTHER AMENDED TO SUITE THE ARCHITECTURALS. HOWEVER THERE IS NO IMPACT ON THE SERVICE DRAWINGS DUE TO THE CHANGES IN THE ARCHITECTURALS BECAUSE THE SERVICES ESSENTIALLY REMAIN THE SAME. MINOR CHANGES HAVE OCCURED WITH THE LOCATION OF THE SUBSTATION

ARCHITECTURAL - GENERAL NOTES

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A5 It is the contractor's responsibility to have all Architectural & Structural documentation, including all site instructions any any details issued during the course of construction, approved by the relevant authorities including the local Council & the Water Board before any work may be proceeded with.

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A13 Copyright of all documentation and designs relating to both Architectural and Structural Engineering, are retained by this office. Written authority is required for any reproduction.

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DRAWN DATE ISSUE AMENDMENT

NB 11.06.2024 A RESPONSE TO COUNCIL RFI

PROJECT

206-214 Lakemba Street, Lakemba NSW

SADAD

CLIENT

Greek Orthodox Community of NSW

DRAWING NAME

PROPOSED LEVEL 1 PLAN

SCALE @ A1: As indicated
SCALE @ A3:

DRAWN: JT
CHECKER: NK

DATE: 15.07.2024

JOB NO.

--

DRAWING NO.

D017

ISSUE:

D

Katris Architects Pty Ltd

Nominated Architects: Chris Katris (Reg 9724), Nick Katris (Reg 3878), Peter Katris (Reg 4569)

Level 1, Suite 2, 28-30 Burwood Road, Burwood NSW 2134

PO Box 703 Burwood 1805 NSW Australia

P 02 9744 5421 F 02 9747 5046

www.katris.com.au

ABN 79 001 639 970



DA-55/2021
5-7, 7A & 9 Croydon Street, Lakemba
"BUILDING A " - 8 STOREY RESIDENTIAL
BUILDING

DA-55/2021
5-7, 7A & 9 Croydon Street, Lakemba
"BUILDING B " - 7 STOREY RESIDENTIAL BUILDING

DA-55/2021
5-7, 7A & 9 Croydon Street, Lakemba
"BUILDING C " - 10 STOREY RESIDENTIAL
BUILDING



1 Level 2
D018 1 : 200

AREAS LEGEND:

- DENOTES PROPOSED **COMMERCIAL/RETAIL** AREA
- DENOTES PROPOSED **POKER/GAMES ROOM** AREA
- DENOTES PROPOSED **ART & CULTURAL EXHIBITION & SALES AREA**
- DENOTES PROPOSED **OFFICE/MEETING ROOM** AREA
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- DENOTES PROPOSED **THEATRE/FUNCTION** AREA
- DENOTES PROPOSED **TOILET/WET AREA**
- DENOTES PROPOSED **MEMBER'S LOUNGE** AREA
- DENOTES PROPOSED **KID'S PLAY AREA**
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- TOTAL LETTABLE AREAS ON LEVEL 4 = 647m²**
- TOTAL LETTABLE AREA PER FLOOR:**
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LEVEL 1 LETTABLE AREA = 1143m²
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LEVEL 4 LETTABLE AREA = 647m²
- TOTAL LETTABLE AREA = 3622 m² (50.2% OF GFA)**
TOTAL GROSS FLOOR AREA = 7202.1

NOTE:
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VISUAL SCALE 1:200 @ A1
1:400 @ A3

ARCHITECTURAL - GENERAL NOTES

A1 All dimensions are to be confirmed on site by the builder/contractor, any incongruities must be reported to the Architect before commencement of any work.
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DRAWN DATE ISSUE AMENDMENT

NB 11.06.2024 A RESPONSE TO COUNCIL (R)

PROJECT

206-214 Lakemba Street, Lakemba NSW

SADAD

CLIENT

Greek Orthodox Community of NSW

DRAWING NAME

PROPOSED LEVEL 2 PLAN

SCALE @ A1: As indicated

SCALE @ A3:

DRAWN: JT

CHECKER: NK

DATE: 15.07.2024

JOB NO.

--

DRAWING NO.

D018

ISSUE:

D

Katris Architects Pty Ltd

Nominated Architects: Chris Katris (Reg 9724), Nick Katris (Reg 3878), Peter Katris (Reg 4569)

Level 1, Suite 2, 28-30 Burwood Road, Burwood NSW 2134

PO Box 703 Burwood 1805 NSW Australia

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ABN 79 001 639 970



DA-55/2021
5-7, 7A & 9 Croydon Street, Lakemba
"BUILDING A " - 8 STOREY RESIDENTIAL
BUILDING

DA-55/2021
5-7, 7A & 9 Croydon Street, Lakemba
"BUILDING B " - 7 STOREY RESIDENTIAL BUILDING

DA-55/2021
5-7, 7A & 9 Croydon Street, Lakemba
"BUILDING C " - 10 STOREY RESIDENTIAL
BUILDING

NEW LANE WAY BELOW

NEW LANE WAY BELOW

BRICK GARAGE

NO. 194 - 198
2 STOREY BUILDING
"CENTRE LINK"

No. 216
TWO STOREY
BRICK/FIBRO UNITS
TILED ROOF

LAKEMBA STREET

AREAS LEGEND:

- DENOTES PROPOSED **COMMERCIAL/RETAIL** AREA
- DENOTES PROPOSED **POKER/GAMES ROOM** AREA
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SCHEDULE OF AREAS (LETTABLE):

GROUND FLOOR:

COMMERCIAL/SHOPS (LETTABLE AREA):

- Shop 1 = 125 m²
- Shop 2 = 88 m²
- Shop 3 = 66 m²
- Shop 4 = 38 m²

Total Commercial/Shop area = 317 m²

THEATRE (LETTABLE AREA):

- Divisible Theatre Area 1 = 250 m²
- Divisible Theatre Area 2 = 250 m²
- Theatre Dressing Room Areas = 63m²

Total Theatre Area = 572m²

BAR (LETTABLE AREA) = 23 m²

KITCHEN (LETTABLE AREA) = 42 + 13 + 6 = 61 m²

TOTAL LETTABLE AREA ON GROUND FLOOR = 973 m²

LEVEL 1:

FUNCTION (LETTABLE AREA):

- Divisible Function Area 1 = 260 m²
- Divisible Function Area 2 = 271 m²
- Divisible Function Area 3 = 102 m²
- Theatre Dressing Room Areas = 72 m²

Total Function Area (Lettable) = 711 m²

POKER MACHINE & GAMES ROOM (LETTABLE AREA) = 145 m²

BAR (LETTABLE AREA) = 63 m²

KITCHEN (LETTABLE AREA) = 74 + 36 = 110 m²

KIDS PLAY AREA (LETTABLE AREA) = 114m²

TOTAL LETTABLE AREA ON LEVEL 1 = 1143m²

LEVEL 2:

GREEK ORTHODOX COMMUNITY USE ONLY:

- TOTAL OFFICE SPACES = 36 + 8 + 20 + 18 + 15 = 97 m²
- MEETING ROOM = 63 + 169 + 61 + 91 + 52 + 52 = 488m²
- BOARD ROOM = 45m²
- PRESIDENT ROOM = 28 m²

LEVEL 3:

- RESTAURANT (LETTABLE AREA) = 412 m²
- KITCHEN = 52m²
- TOTAL OFFICE AREAS (LETTABLE AREA) = 285 m²
- TOTAL MEETING ROOM AREAS (LETTABLE AREA) = 110m²

TOTAL LETTABLE AREA ON LEVEL 3 = 899 m²

LEVEL 4:

RECEPTION LOUNGE:

- RECEPTION AREA = 482m²
- STORAGE ROOM = 27 m²
- TOILETS = 22 + 18 + 7 = 37m²
- KITCHEN = 53m²

INFORMAL LOUNGE/ SITTING AREA = 68m²

TOTAL LETTABLE AREAS ON LEVEL 4 = 647m²

TOTAL LETTABLE AREA PER FLOOR:

- GROUND FLOOR LETTABLE AREA = 973 m²
- LEVEL 1 LETTABLE AREA = 1143m²
- LEVEL 3 LETTABLE AREA = 899m²
- LEVEL 4 LETTABLE AREA = 647m²

TOTAL LETTABLE AREA = 3622 m² (50.2% OF GFA)

TOTAL GROSS FLOOR AREA = 7202.1

0m 4m 8m 12m 16m 20m

VISUAL SCALE 1:200 @ A1

1:400 @ A3

ARCHITECTURAL - GENERAL NOTES

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DRAWN DATE ISSUE AMENDMENT

NB 11.06.2024 A RESPONSE TO COUNCIL RFI

PROJECT

206-214 Lakemba Street, Lakemba NSW

SADAD

CLIENT

Greek Orthodox Community of NSW

DRAWING NAME

PROPOSED LEVEL 3 PLAN

SCALE @ A1: As indicated

SCALE @ A3:

DRAWN: JT

CHECKER: NK

DATE: 15.07.2024

JOB NO.

--

DRAWING NO.

D019

ISSUE:

D

Katris Architects Pty Ltd

Nominated Architects: Chris Katris (Reg 9724), Nick

Katris (Reg 3878), Peter Katris (Reg 4569)

Level 1, Suite 2, 28-30 Burwood Road,

Burwood NSW 2134

PO Box 703 Burwood 1805 NSW Australia

www.katris.com.au

ABN 79 001 639 970



DA-55/2021
5-7, 7A & 9 Croydon Street, Lakemba
"BUILDING A " - 8 STOREY RESIDENTIAL
BUILDING

DA-55/2021
5-7, 7A & 9 Croydon Street, Lakemba
"BUILDING B " - 7 STOREY RESIDENTIAL BUILDING

DA-55/2021
5-7, 7A & 9 Croydon Street, Lakemba
"BUILDING C " - 10 STOREY RESIDENTIAL
BUILDING

NEW LANE WAY BELOW

NEW LANE WAY BELOW

BRICK GARAGE

No. 216
TWO STOREY
BRICK/FIBRO UNITS
TILED ROOF

AREAS LEGEND:

- DENOTES PROPOSED **COMMERCIAL/RETAIL** AREA
- DENOTES PROPOSED **POKER/GAMES ROOM** AREA
- DENOTES PROPOSED **ART & CULTURAL EXHIBITION & SALES AREA**
- DENOTES PROPOSED **OFFICE/MEETING ROOM** AREA
- DENOTES PROPOSED **KITCHEN & BAR AREAS**
- DENOTES PROPOSED **THEATRE/FUNCTION** AREA
- DENOTES PROPOSED **TOILET/WET** AREA
- DENOTES PROPOSED **MEMBER'S LOUNGE** AREA
- DENOTES PROPOSED **KID'S PLAY AREA**
- DENOTES PROPOSED **RESTAURANT AREA**

SCHEDULE OF AREAS (LETTABLE):

GROUND FLOOR:

COMMERCIAL /SHOPS (LETTABLE AREA):

- Shop 1 = 125 m²
- Shop 2 = 88 m²
- Shop 3 = 66 m²
- Shop 4 = 38 m²

Total Commercial/Shop area = 317 m²

THEATRE (LETTABLE AREA):

- Divisible Theatre Area 1 = 250 m²
- Divisible Theatre Area 2 = 250 m²
- Theatre Dressing Room Areas = 63m²

Total Theatre Area = 572m²

BAR (LETTABLE AREA) = 23 m²

KITCHEN (LETTABLE AREA) = 42 + 13 + 6 = 61 m²

TOTAL LETTABLE AREA ON GROUND FLOOR = 973 m²

LEVEL 1:

FUNCTION (LETTABLE AREA):

- Divisible Function Area 1 = 260 m²
- Divisible Function Area 2 = 271m²
- Divisible Function Area 3 = 102 m²
- Theatre Dressing Room Areas = 72 m²

Total Function Area (Lettable) = 711 m²

POKER MACHINE & GAMES ROOM (LETTABLE AREA) = 145 m²

BAR (LETTABLE AREA) = 63 m²

KITCHEN (LETTABLE AREA) = 74 + 36 = 110 m²

KIDS PLAY AREA (LETTABLE AREA) = 114m²

TOTAL LETTABLE AREA ON LEVEL 1 = 1143m²

LEVEL 2:

GREEK ORTHODOX COMMUNITY USE ONLY:

TOTAL OFFICE SPACES = 36 +8 + 20 + 18 + 15 = 97 m²

MEETING ROOM = 63 + 169 + 61 + 91 + 52 + 52 = 488m²

BOARD ROOM = 45m²

PRESIDENT ROOM = 28 m²

LEVEL 3:

RESTAURANT (LETTABLE AREA) = 412 m²

KITCHEN = 52m²

TOTAL OFFICE AREAS (LETTABLE AREA) = 285 m²

TOTAL MEETING ROOM AREAS (LETTABLE AREA) = 110m²

TOTAL LETTABLE AREA ON LEVEL 3 = 869 m²

LEVEL 4:

RECEPTION LOUNGE:

- RECEPTION AREA = 482m²
- STORAGE ROOM = 27 m²
- TOILETS = 22 + 18 + 7 = 37m²
- KITCHEN = 53m²

INFORMAL LOUNGE/ SITTING AREA = 68m²

TOTAL LETTABLE AREAS ON LEVEL 4 = 647m²

TOTAL LETTABLE AREA PER FLOOR:

GROUND FLOOR LETTABLE AREA = 973 m²

LEVEL 1 LETTABLE AREA =1143m²

LEVEL 3 LETTABLE AREA = 859m²

LEVEL 4 LETTABLE AREA = 647m²

TOTAL LETTABLE AREA = 3622 m² (50.2% OF GFA)

TOTAL GROSS FLOOR AREA = 7202.1

0m 4m 8m 12m 16m 20m

VISUAL SCALE 1:200 @ A1

1:400 @ A3

1 Proposed Level 4 Plan

D020 1:200

ARCHITECTURAL - GENERAL NOTES

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DRAWN DATE ISSUE AMENDMENT

NB 11.06.2024 A RESPONSE TO COUNCIL RFI

PROJECT

206-214 Lakemba Street, Lakemba NSW

SADAD

CLIENT

Greek Orthodox Community of NSW

DRAWING NAME

PROPOSED LEVEL 4 PLAN

SCALE @ A1: As indicated

SCALE @ A3:

DRAWN: JT

CHECKER: NK

DATE: 15.07.2024

JOB NO.

--

DRAWING NO.

D020

ISSUE:

D

Katris Architects Pty Ltd

Nominated Architects: Chris Katris (Reg 9724), Nick

Katris (Reg 3878), Peter Katris (Reg 4569)

Level 1, Suite 2, 28-30 Burwood Road,

Burwood NSW 2134

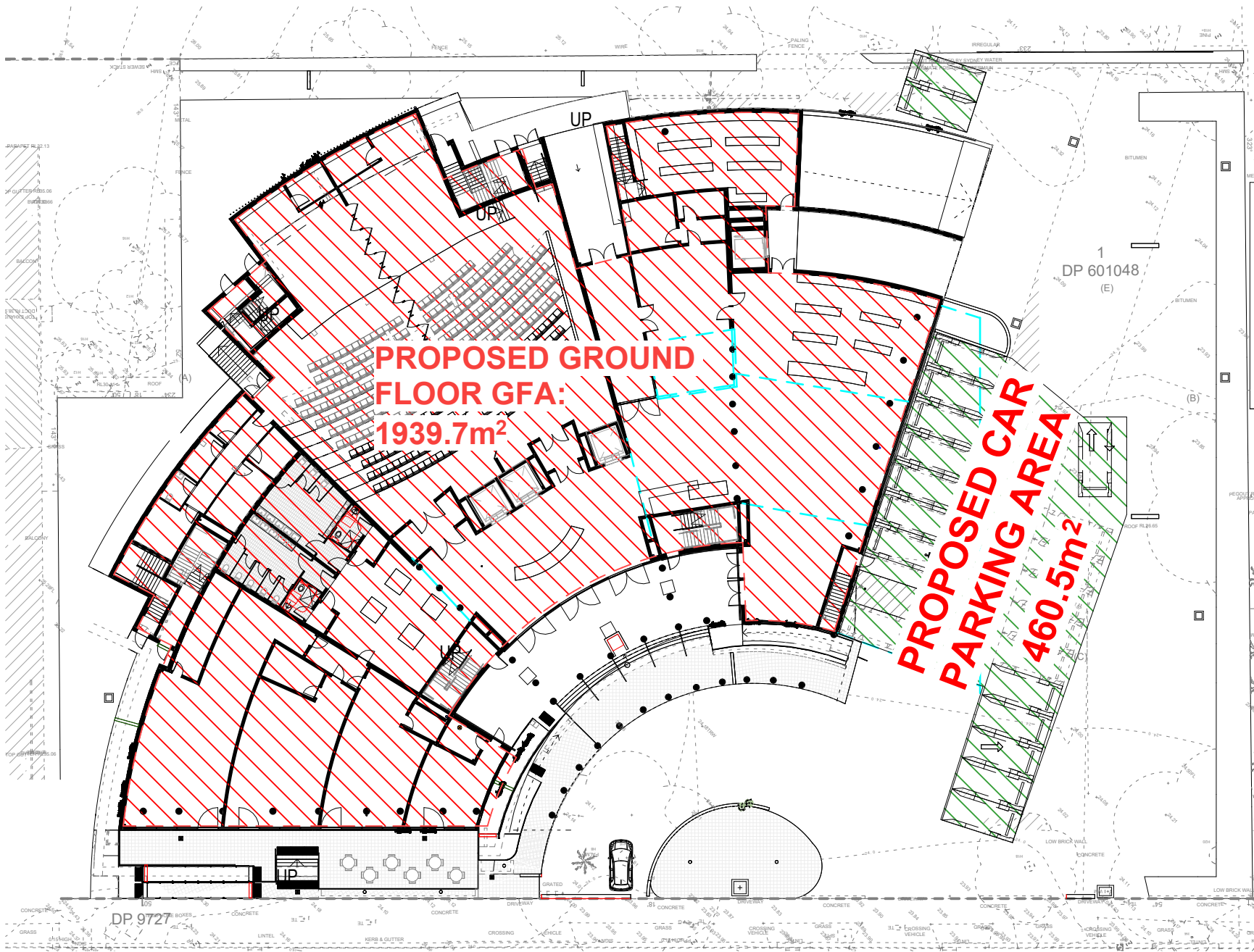
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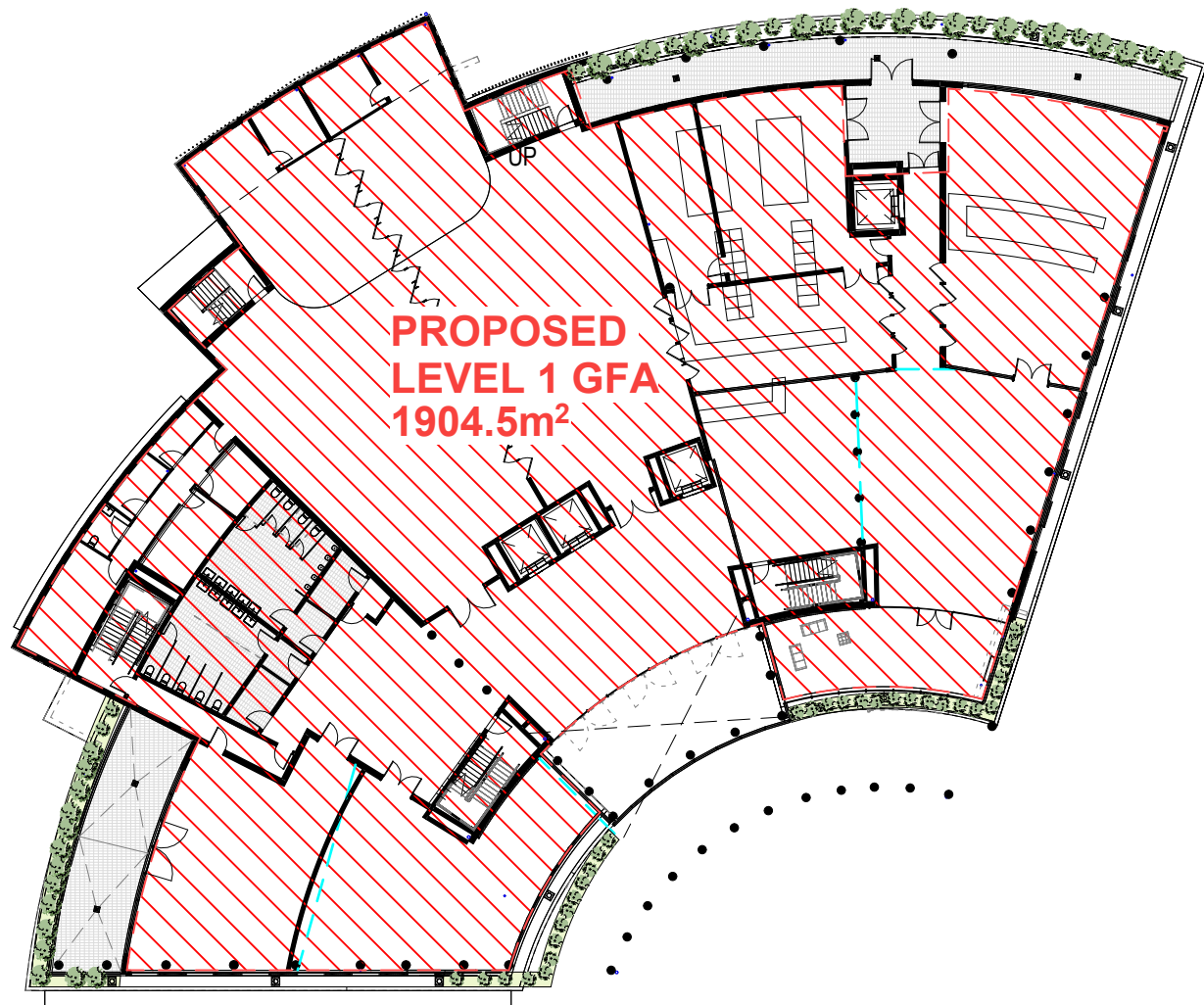
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ABN 79 001 639 970





2 Ground Floor - Area
D023 1 : 400



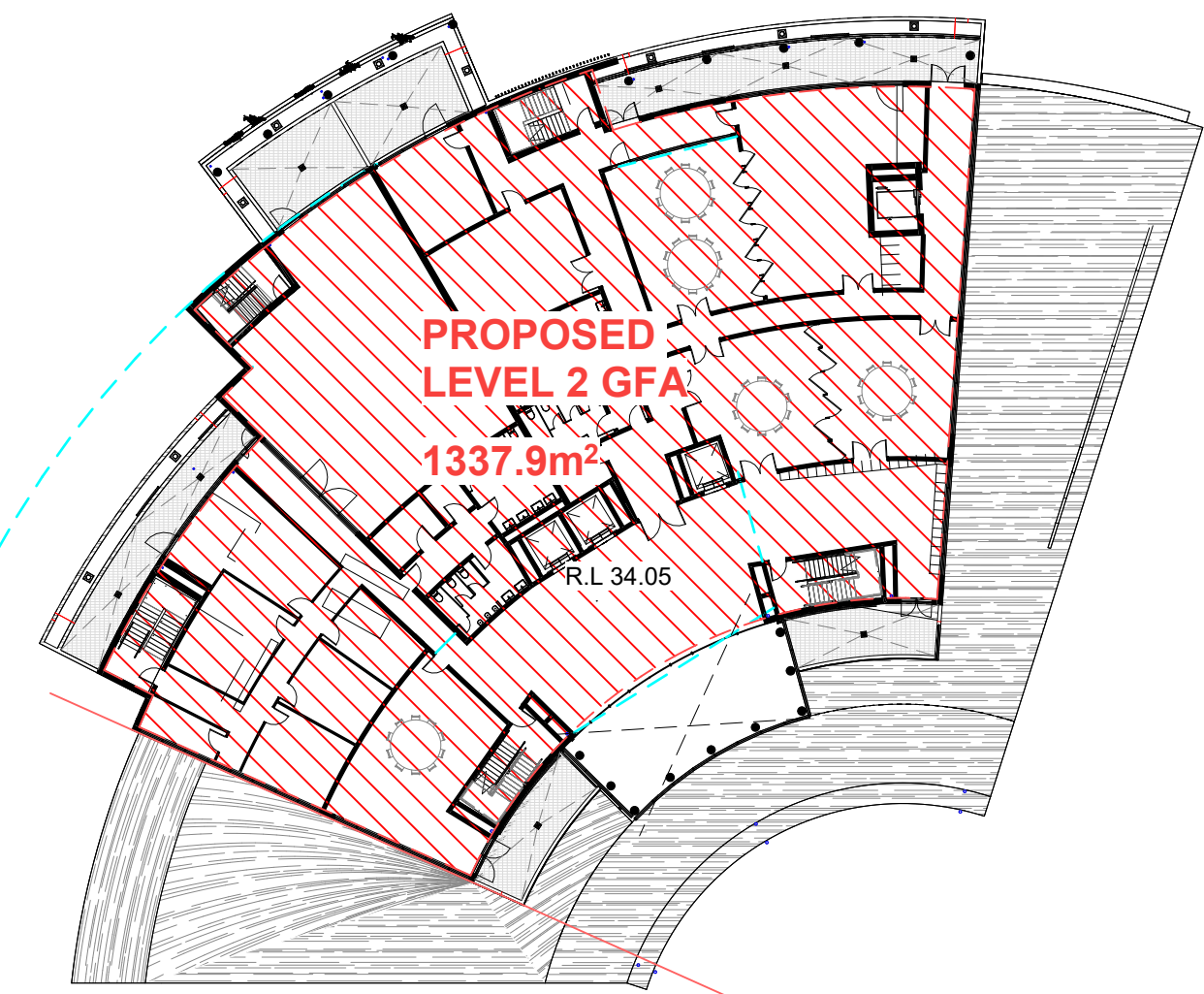
3 Level 1 - Area
D023 1 : 400

AREA CALCULATION:

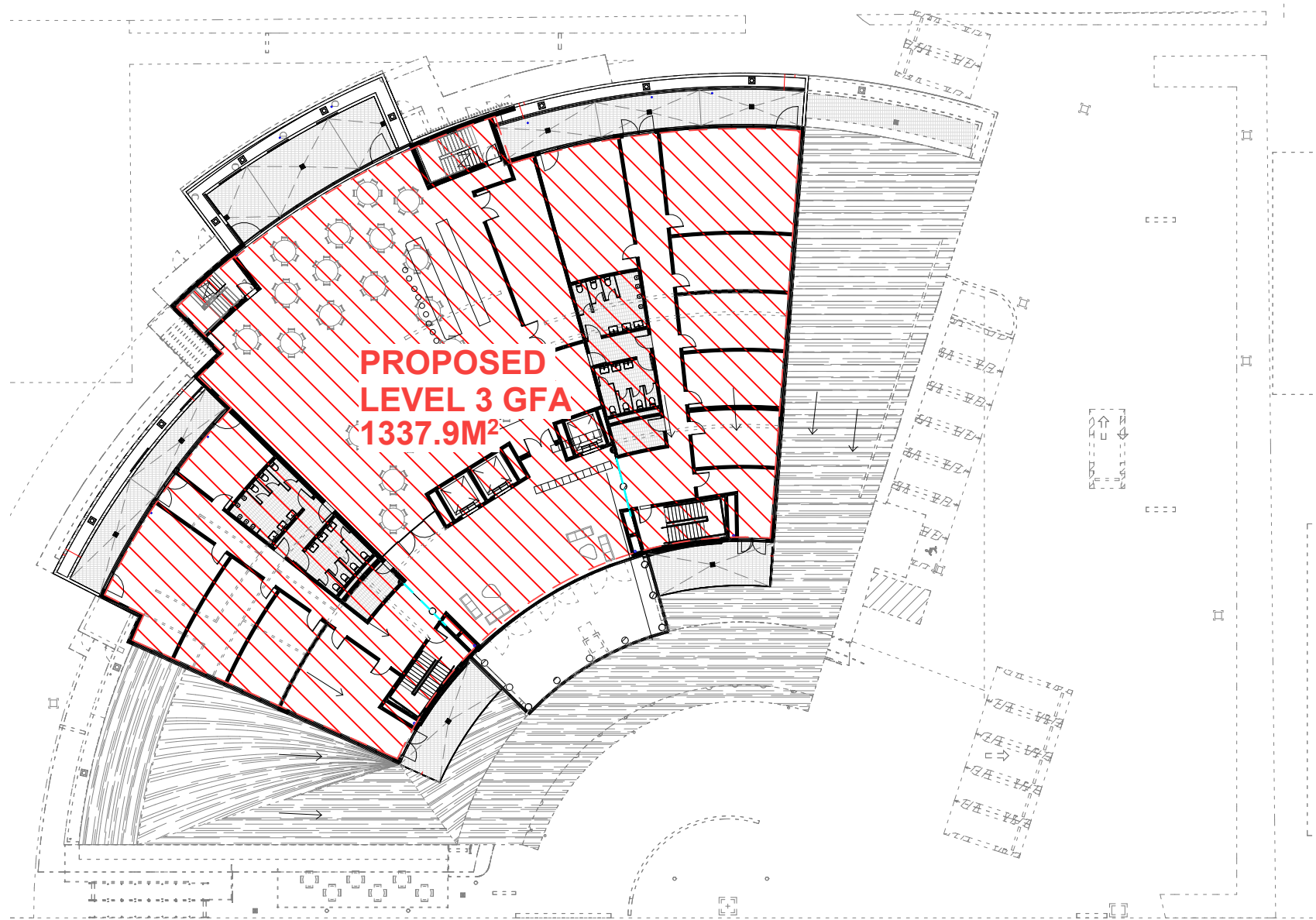
BASEMENT FLOOR AREA = 2289.7 M²

GROUND FLOOR GROSS FLOOR AREA = 1923.5 M²
LEVEL 1 GROSS FLOOR AREA = 1908.4 M²
LEVEL 2 GROSS FLOOR AREA = 1337.9 M²
LEVEL 3 GROSS FLOOR AREA = 1337.9 M²
LEVEL 4 GROSS FLOOR AREA = 694.4 M²

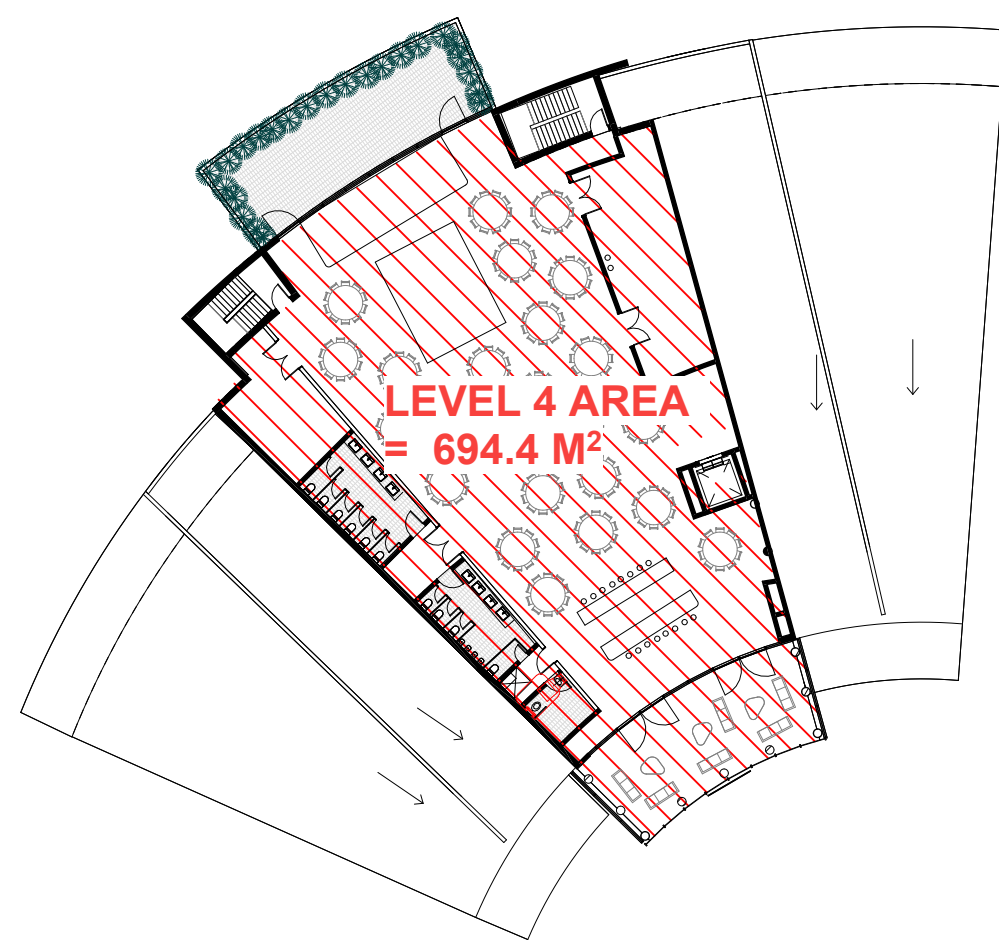
TOTAL PROPOSED GROSS FLOOR AREA (GFA) (EXCLUDING BASEMENT AREA) = 7202.1M²



4 Level 2 - Area
D023 1 : 400



5 Level 3 - Area
D023 1 : 400



6 Level 4 - Area
D023 1 : 400

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DRAWN	DATE	ISSUE	AMENDMENT
NB	11.06.2024	A	RESPONSE TO COUNCIL RFI

PROJECT

206-214 Lakemba Street, Lakemba NSW

SADAD

CLIENT

Greek Orthodox Community of NSW

DRAWING NAME

AREA CALCULATIONS

SCALE @ A1: 1 : 400
SCALE @ A3:

DRAWN: JT
CHECKER: NK

DATE: 15.07.2024

JOB NO.

--

DRAWING NO.

D023

ISSUE:

D

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Level 1, Suite 2, 28-30 Burwood Road, Burwood NSW 2134

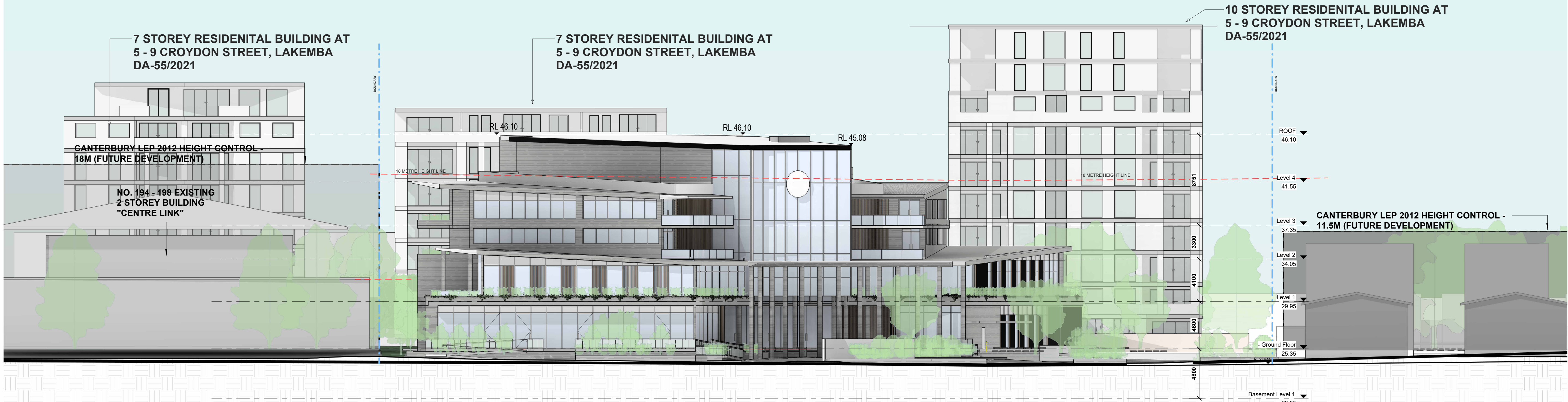
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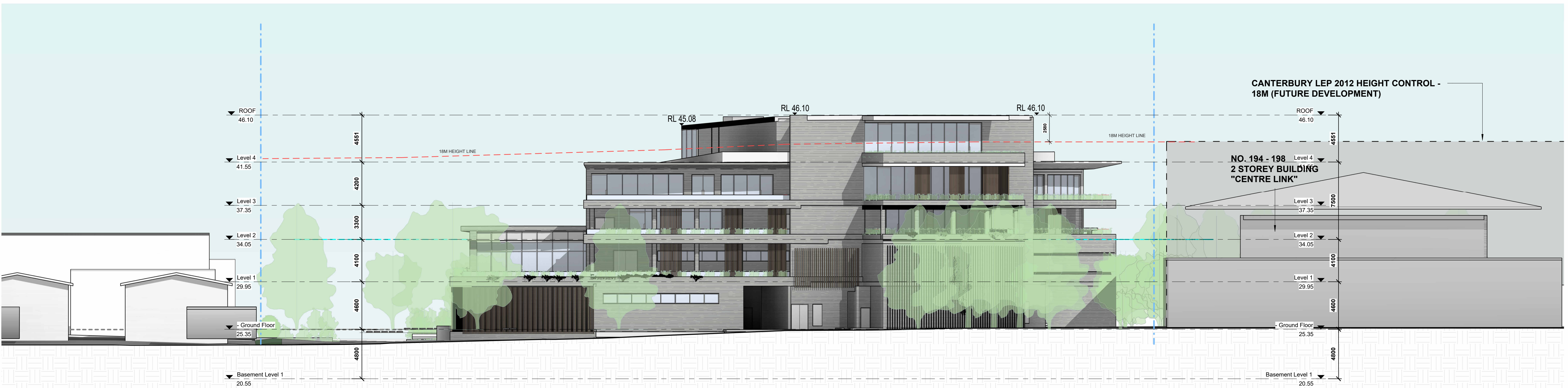
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ABN 79 001 639 970





1 NORTH ELEVATION (LAKEMBA STREET)
D024 1 : 200



2 SOUTH ELEVATION
D024 1 : 200

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NB	11.06.2024	A	RESPONSE TO COUNCIL RFI

PROJECT

206-214 Lakemba Street, Lakemba NSW

SADAD

CLIENT

Greek Orthodox Community of NSW

DRAWING NAME

PROPOSED ELEVATIONS 1

SCALE @ A1: 1 : 200

SCALE @ A3:

DRAWN: JT

CHECKER: NK

DATE: 15.07.2024

JOB NO.

--

DRAWING NO.

D024

ISSUE:

D

Katris Architects Pty Ltd

Nominated Architects: Chris Katris (Reg 9724), Nick Katris (Reg 3878), Peter Katris (Reg 4569)

Level 1, Suite 2, 28-30 Burwood Road, Burwood NSW 2134

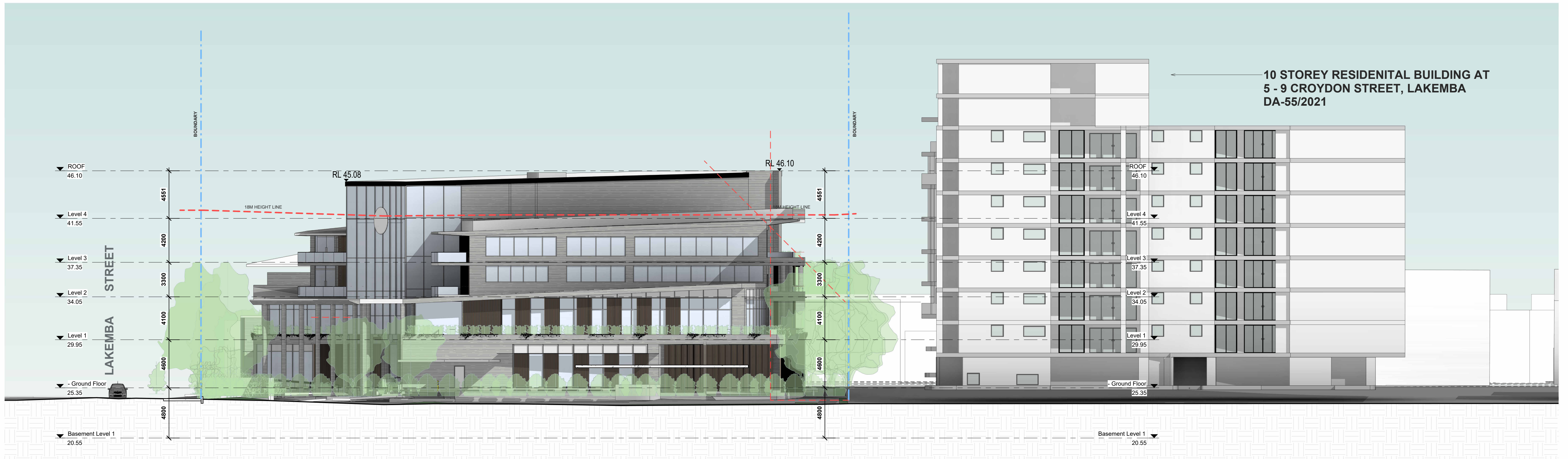
PO Box 703 Burwood 1805 NSW Australia

P 02 9744 5421 F 02 9747 5046

www.katris.com.au

ABN 79 001 639 970





1 EAST ELEVATION
D025 1 : 200



2 WEST ELEVATION
D025 1 : 200

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DRAWN DATE ISSUE AMENDMENT

NB 11.06.2024 A RESPONSE TO COUNCIL RFI

PROJECT

206-214 Lakemba Street, Lakemba NSW

SADAD

CLIENT

Greek Orthodox Community of NSW

DRAWING NAME

PROPOSED ELEVATIONS 2

SCALE @ A1: 1 : 200

SCALE @ A3:

DRAWN: JT

CHECKER: NK

DATE: 15.07.2024

JOB NO.

--

DRAWING NO.

D025

ISSUE:

D

Katris Architects Pty Ltd

Nominated Architects: Chris Katris (Reg 9724), Nick

Katris (Reg 3878), Peter Katris (Reg 4569)

Level 1, Suite 2, 28-30 Burwood Road,

Burwood NSW 2134

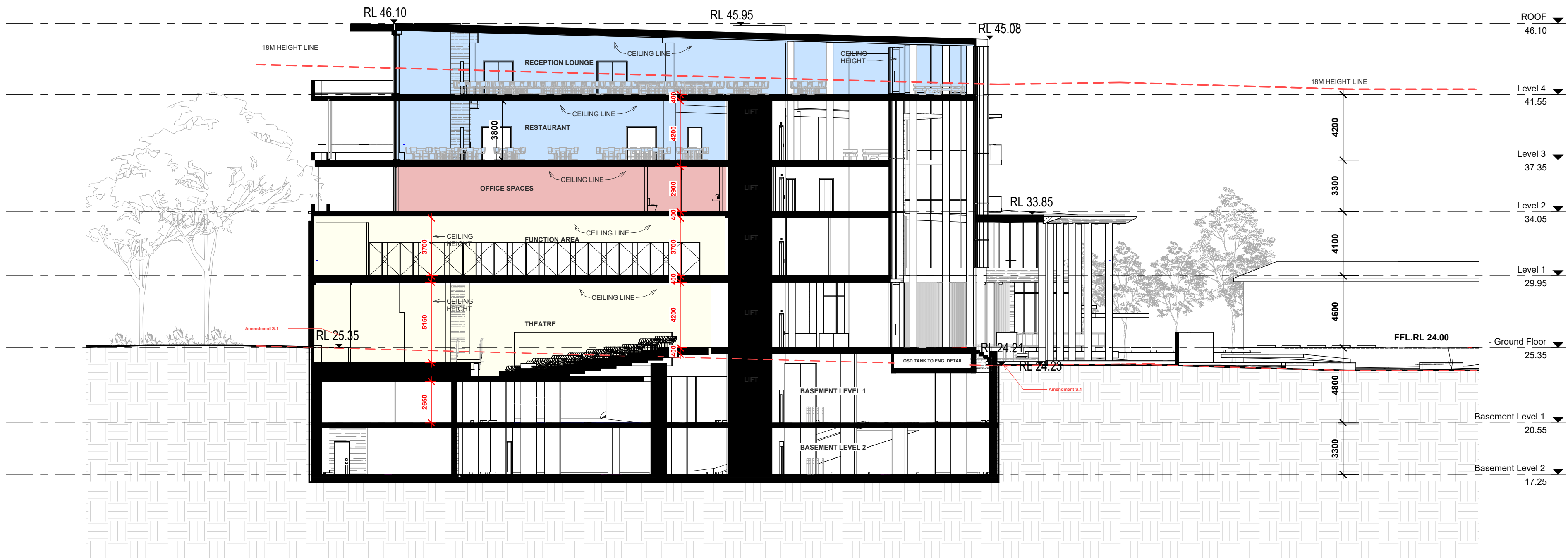
PO Box 703 Burwood 1805 NSW Australia

P 02 9744 5421 F 02 9747 5046

www.katris.com.au

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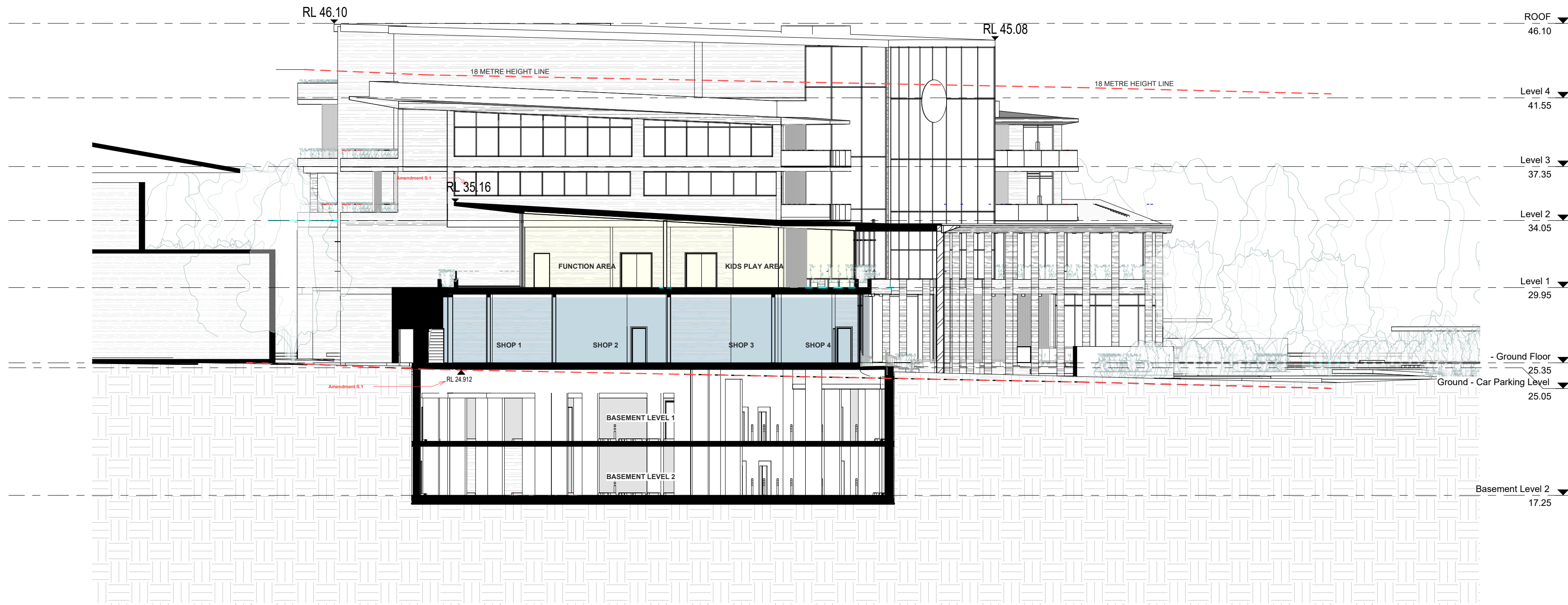




1
D026

SECTION AA

1 : 200



2
D026

SECTION BB

1 : 200

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DRAWN	DATE	ISSUE	AMENDMENT
NB	11.06.2024	A	RESPONSE TO COUNCIL RFI

PROJECT

206-214 Lakemba Street, Lakemba NSW

SADAD

CLIENT

Greek Orthodox Community of NSW

DRAWING NAME

SECTIONS

SCALE @ A1: 1 : 200
SCALE @ A3:

DRAWN: JT
CHECKER: NK

DATE: 15.07.2024

JOB NO.

--

DRAWING NO.

D026

ISSUE:

D

Katris Architects Pty Ltd

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Level 1, Suite 2, 28-30 Burwood Road, Burwood NSW 2134

PO Box 703 Burwood 1805 NSW Australia

P 02 9744 5421 F 02 9747 5046

www.katris.com.au

ABN 79 001 639 970



M05

M04

M01

M04

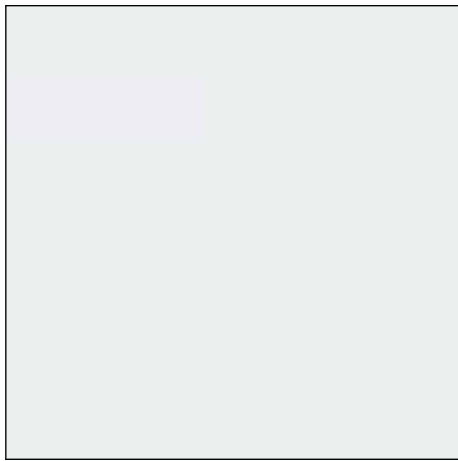
M03

M05

M01

M02

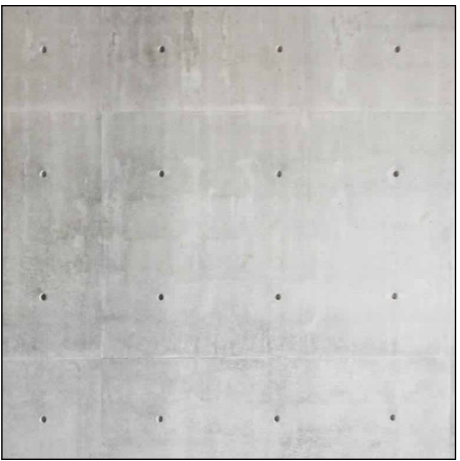
M04



M01
CEMENT RENDER & PAINT
PAINT FINISH SIMILAR TO DULUX
'LEXICON'



M02
TIMBER LOOK METAL BATTENS
SIMILIAR TO 'COVET' - TIMBER LOOK
BATTEN CLADDING - COLOUR -
SURPURINGU



M03
OFF - FORM CONCRETE



M04
FRAMELESS GLASS BALUSTRADE



M05
GLAZING IN ALUMINIUM FRAME
FRAME FINISH SIMILAR TO DULUX
POWDERCOAT 'MONUMENT'

ARCHITECTURAL - GENERAL NOTES

A1 All dimensions are to be confirmed on site by the builder/subcontractor, any discrepancies must be reported to the Architect before commencement of any work.
A2 The Builder/subcontractor will be held responsible for any construction details which have not been approved by the Architect.
A3 In the event of encountering any discrepancies on these drawings, specification or subsequent instructions issued, the Builder/subcontractor shall contact the Architect before proceeding further with any work.
A4 The Builder/subcontractor will be held responsible for the watertightness of the entire building for a minimum period of two years after the date of practical completion.
A5 It is the contractor's responsibility to have all Architectural & Structural documentation, including all site instructions any any details issued during the course of construction, approved by the relevant authorities including the local Council & the Water Board before any work may be proceeded with.
A6 All construction, control joints and expansion joints in the wall, floors, & other locations shall be in strict accordance with Architectural and/or Structural Engineering details. Nipoints or breakers other than specified, are allowed without written permission from the Architect and/or Engineer.
A7 Measurements for the fabrication of secondary components such as, windows, doors, internal frames, structural steel components and the like, are not to be taken from these documents. Measurements must be taken on site to suit the work as constructed.
A8 All structural components shall be in strict accordance to details and specifications as prepared by a structural engineer, and these details form part of the total specification.
A9 All existing structures need to be examined for structural adequacy, and it is the Contractor's responsibility to ensure that a certificate of structural adequacy is available prior to the start of any work.
A10 No construction work shall commence until a site survey has been completed. This work must be performed by a registered Surveyor.
A11 Foundation set-out, is to be performed by the Surveyor mentioned in A10 and recovery pegs must be protected during construction.
A12 All timber work is to comply with the requirements of the Light Timber Framing Code (S.A.A. Codes and Structural Engineer's details and specification).
A13 Copyright of all documentation and designs relating to both Architectural and Structural Engineering, are retained by this office. Written authority is required for any reproduction.
A14 All Architectural documentation to be read in conjunction with the Structural Engineer's details and specification.
A15 Comply with the 'hazardous materials' clause of the specification.
IMPORTANT NOTE: It is the Tenderer's & Contractor's responsibility to check that all Architectural, Structural and all other job related documentation's have been received before tendering and/or construction may commence. Should there be any doubt to the availability of such documents the Architect should be notified before further details be needed, the tenderer and/or Contractor shall obtain such details before signing of contract documents. Failure to adhere to these conditions, the Tenderer and/or Contractor nullifies any right or claim for extras, due to interpretation of documentation, and the Architect's &/or Engineer's direction shall be carried out at the tenderer's cost.

DRAWN DATE ISSUE AMENDMENT

NB 11.06.2024 A RESPONSE TO COUNCIL RFI

PROJECT

206-214 Lakemba Street, Lakemba NSW

SADAD

CLIENT

Greek Orthodox Community of NSW

DRAWING NAME

SCHEDULE OF COLOUR AND FINISHES

SCALE @ A1:

DRAWN: **AJ**

SCALE @ A3:

CHECKER: **NK**

DATE: **15.07.2024**

JOB NO.

DRAWING NO.

ISSUE:

--

D029

D

Katris Architects Pty Ltd

Nominated Architects: Chris Katris (Reg 9724), Nick

Katris (Reg 3878), Peter Katris (Reg 4569)

Level 1, Suite 2, 28-30 Burwood Road,

Burwood NSW 2134

PO Box 703 Burwood 1805 NSW Australia

P 02 9744 5421

F 02 9747 5046

www.katris.com.au

ABN 79 001 639 970





1
D030

STREETSCAPE ELEVATION (LAKEMBA STREET)

1 : 250



1. NEIGHBOURING BUILDING AT NO. 194 - 198 LAKEMBA ST, LAKEMBA.
2 STOREY BUILDING "CENTRE LINK"



2. NEIGHBOURING BUILDING AT NO. 216 - 218 LAKEMBA ST, LAKEMBA.
2 STOREY BUILDING BRICK FIBRO RESIDENTIAL UNITS



3. NEIGHBOURING BUILDING AT No. 220
LAKEMBA CHAPEL REMEMBRANCE HALL

ARCHITECTURAL - GENERAL NOTES

A1 All dimensions are to be confirmed on site by the builder/subcontractor, any incongruities must be reported to the Architect before commencement of any work.

A2 The Builder/subcontractor will be held responsible for any construction details which have not been approved by the Architect.

A3 In the event of encountering any discrepancies on these drawings, specification or subsequent instructions issued, the Builder/subcontractor shall contact the Architect before proceeding further with any work.

A4 The Builder/subcontractor will be held responsible for the safety of the site during the construction period of two years after the date of practical completion.

A5 It is the contractor's responsibility to have all Architectural & Structural documentation, including all site instructions any any details issued during the course of construction, approved by the relevant authorities including the Local Council & the Water Board before any work may be proceeded with.

A6 All construction, control joints and expansion joints in the wall, floors, & other locations shall be in strict accordance with Architectural and/or Structural Engineering details. Nipples or breakers other than specified, are allowed without written permission from the Architect and/or Engineer.

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DRAWN	DATE	ISSUE	AMENDMENT
NB	11.06.2024	A	RESPONSE TO COUNCIL RFI

PROJECT

206-214 Lakemba Street, Lakemba NSW

SADAD

CLIENT

Greek Orthodox Community of NSW

DRAWING NAME

STREETSCAPE ELEVATION

SCALE @ A1: 1 : 250

SCALE @ A3:

DRAWN: **MG**

CHECKER: **NK**

DATE: **15.07.2024**

JOB NO.

--

DRAWING NO.

D030

ISSUE:

D

Katris Architects Pty Ltd

Nominated Architects: Chris Katris (Reg 9724), Nick

Katris (Reg 3878), Peter Katris (Reg 4569)

Level 1, Suite 2, 28-30 Burwood Road,

Burwood NSW 2134

PO Box 703 Burwood 1805 NSW Australia

P 02 9744 5421

F 02 9747 5046

www.katris.com.au

ABN 79 001 639 970





1
D027

VIEW ENTRANCE VIEW

ARCHITECTURAL - GENERAL NOTES

A1 All dimensions are to be confirmed on site by the builder/subcontractor; any incongruities must be reported to the Architect before commencement of any work.

A2 The Builder/subcontractor will be held responsible for any construction details which have not been approved by the Architect.

A3 In the event of encountering any discrepancies on these drawings, specification or subsequent instructions issued, the Builder/subcontractor shall contact the Architect before proceeding further with any work.

A4 The Builder/subcontractor will be held responsible for the watertightness of the entire building for a minimum period of two years after the date of practical completion.

A5 It is the contractor's responsibility to have all Architectural & Structural documentation, including all site instructions any any details issued during the course of construction, approved by the relevant authorities including the local Council & the Water Board before any work may be proceeded with.

A6 All construction, control joints and expansion joints in the wall, floors, & other locations shall be in strict accordance with Architectural and/or Structural Engineering details. Nipoints or breakers other than specified, are allowed without written permission from the Architect and/or Engineer.

A7 Measurements for the fabrication of secondary components such as, windows, doors, internal frames, structural steel components and the like, are not to be taken from these documents. Measurements must be taken on site to suit the work as constructed.

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A11 Foundation set-out, is to be performed by the Surveyor mentioned in A10 and recovery pegs must be protected during construction.

A12 All timber work is to comply with the requirements of the Light Timber Framing Code of S.A.A. Codes and Structural Engineer's details and specification.

A13 Copyright of all documentation and designs relating to both Architectural and Structural Engineering, are retained by this office. Written authority is required for any reproduction.

A14 All Architectural documentation to be read in conjunction with the Structural Engineer's details and specification.

A15 Comply with the 'hazardous materials' clause of the specification.

IMPORTANT NOTE: It is the Tenderer's & Contractor's responsibility to check that all Architectural, Structural and all other job related documentation's have been received before tendering and/or construction may commence. Should there be any doubt to the availability of such documents the Architect should be notified before further details be needed, the tenderer and/or Contractor shall obtain such details before signing of contract documents. Failure to adhere to these conditions, the Tenderer and/or Contractor nullifies any right or claim for extras, due to interpretation of documentation, and the Architect's &/or Engineer's direction shall be carried out at the tenderer's cost.

DRAWN	DATE	ISSUE	AMENDMENT
NB	11.06.2024	A	RESPONSE TO COUNCIL RFI

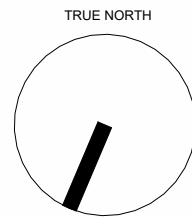
PROJECT

206-214 Lakemba Street, Lakemba NSW

SADAD

CLIENT

Greek Orthodox Community of NSW



DRAWING NAME

3D VIEW

SCALE @ A1:
SCALE @ A3:

DRAWN: JT
CHECKER: NK

DATE: 15.07.2024

JOB NO.

--

DRAWING NO.

D027

ISSUE:

D

Katris Architects Pty Ltd

Nominated Architects: Chris Katris (Reg 9724), Nick Katris (Reg 3878), Peter Katris (Reg 4569)

Level 1, Suite 2, 28-30 Burwood Road, Burwood NSW 2134

PO Box 703 Burwood 1805 NSW Australia

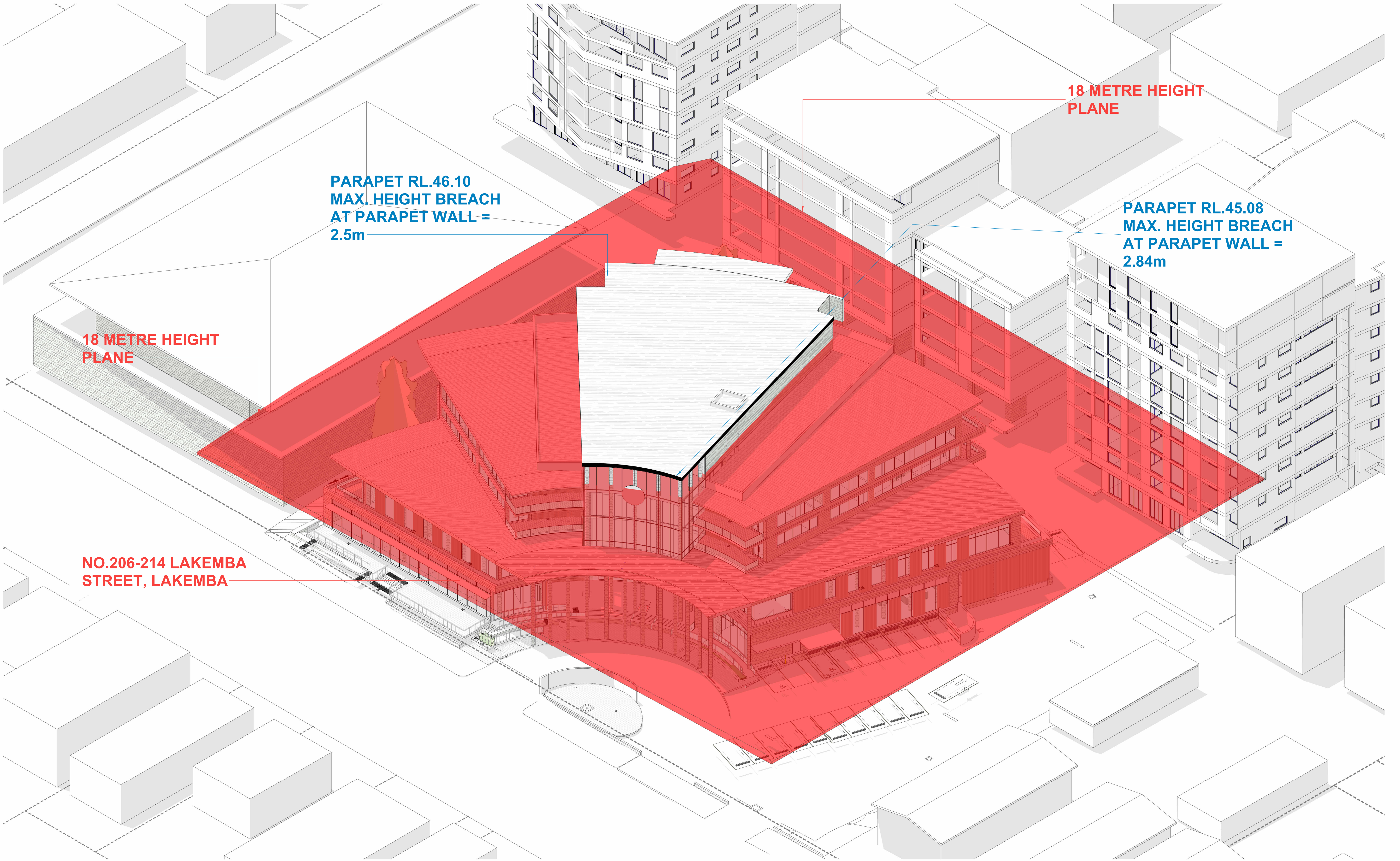
P 02 9744 5421

F 02 9747 5046

www.katris.com.au

ABN 79 001 639 970





1
D031

HEIGHT PLANE DIAGRAM

ARCHITECTURAL - GENERAL NOTES

A1 All dimensions are to be confirmed on site by the builder/subcontractor, any discrepancies must be reported to the Architect before commencement of any work.
A2 The Builder/subcontractor will be held responsible for any construction details which have not been approved by the Architect.
A3 In the event of encountering any discrepancies on these drawings, specification or subsequent instructions issued, the Builder/subcontractor shall contact the Architect before proceeding further with any work.
A4 The Builder/subcontractor will be held responsible for the safety of the construction site and the safety of the public at all times.
A5 It is the contractor's responsibility to have all Architectural & Structural documentation, including all site instructions any any details issued during the course of construction, approved by the relevant authorities including the Local Council & the Water Board before any work may be proceeded with.
A6 All construction, control joints and expansion joints in the wall, floors, & other locations shall be in strict accordance with Architectural and/or Structural Engineering details. Nipoints or breakers other than specified, are allowed without written permission from the Architect and/or Engineer.
A7 Measurements for the fabrication of secondary components such as, windows, doors, internal frames, structural steel components and the like, are not to be taken from these documents. Measurements must be taken on site to suit the work as constructed.
A8 All structural components shall be in strict accordance to details and specifications as prepared by a structural engineer, and these details form part of the total specification.
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IMPORTANT NOTE: It is the Tenderer's & Contractor's responsibility to check that all Architectural, Structural and all other job related documentation's have been received before tendering and/or construction may commence. Should there be any doubt to the availability of such documents the Architect should be notified before further details be needed, the Tenderer and/or Contractor shall obtain such details before signing of contract documents. Failure to adhere to these conditions, the Tenderer and/or Contractor nullifies any right or claim for extras, due to interpretation of documentation, and the Architect's &/or Engineer's direction shall be carried out at the tenderer's cost.

DRAWN DATE ISSUE AMENDMENT

NB	11.06.2024	A	RESPONSE TO COUNCIL RFI
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PROJECT

206-214 Lakemba Street, Lakemba NSW

SADAD

CLIENT

Greek Orthodox Community of NSW

DRAWING NAME

HEIGHT PLANE DIAGRAM

SCALE @ A1:

SCALE @ A3:

DRAWN: **AJ**

CHECKER: **NK**

DATE: **15.07.2024**

JOB NO.

--

DRAWING NO.

D031

ISSUE:

D

Katris Architects Pty Ltd

Nominated Architects: Chris Katris (Reg 9724), Nick Katris (Reg 3878), Peter Katris (Reg 4569)

Level 1, Suite 2, 28-30 Burwood Road, Burwood NSW 2134

PO Box 703 Burwood 1805 NSW Australia

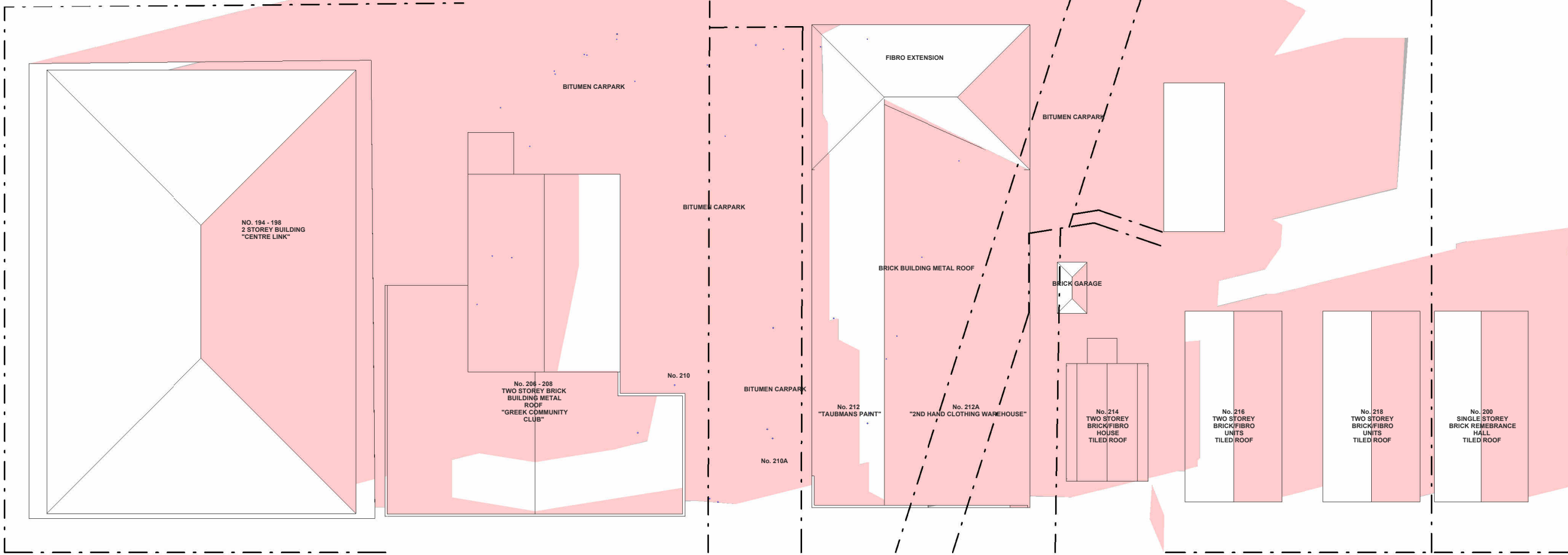
P 02 9744 5421

F 02 9747 5046

www.katris.com.au

ABN 79 001 639 970

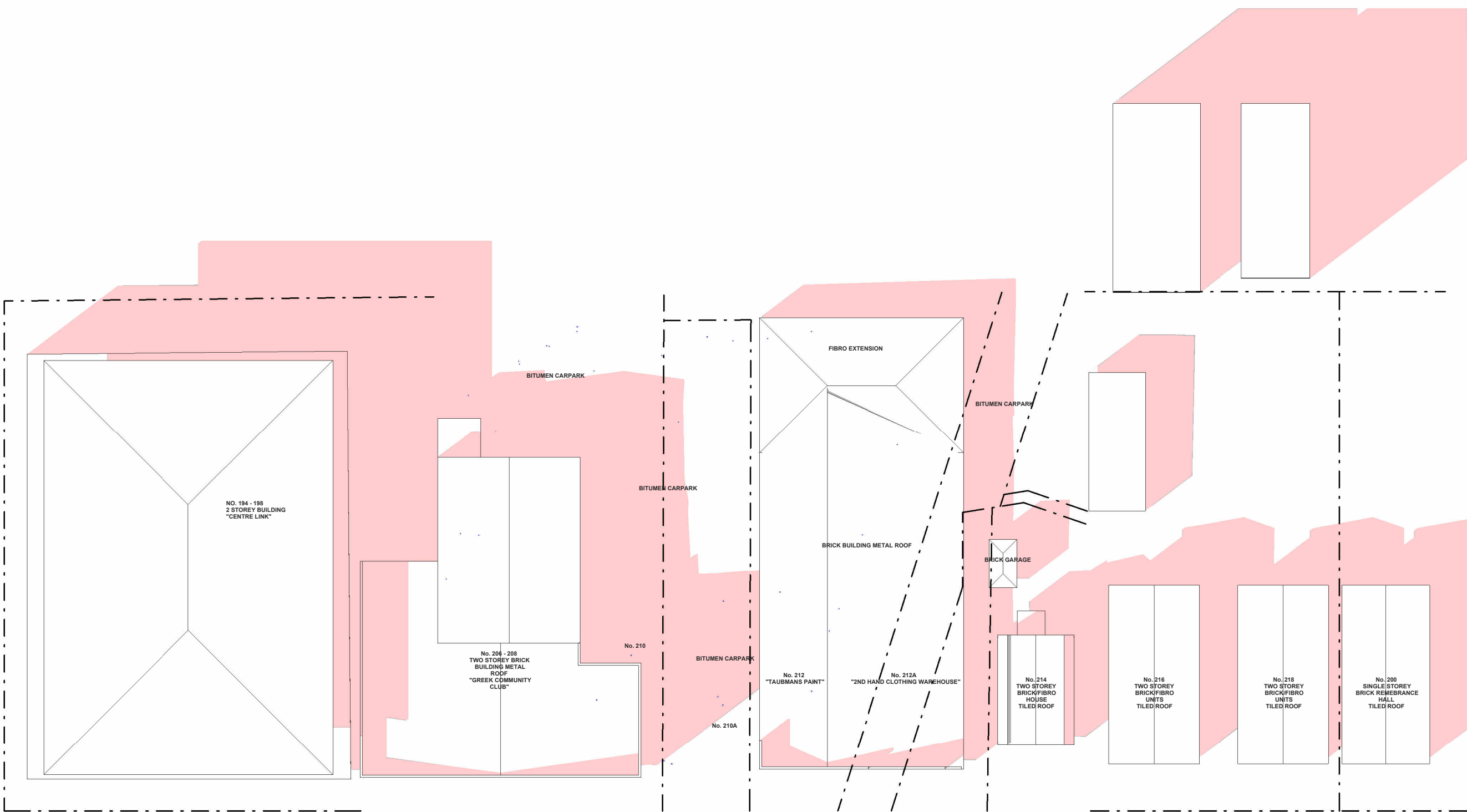




LAKEMBA STREET

EXISTING SHADOW DIAGRAM LEGEND
PINK SHADING DENOTES EXISTING SHADOWS CAST BY EXISTING BUILDINGS

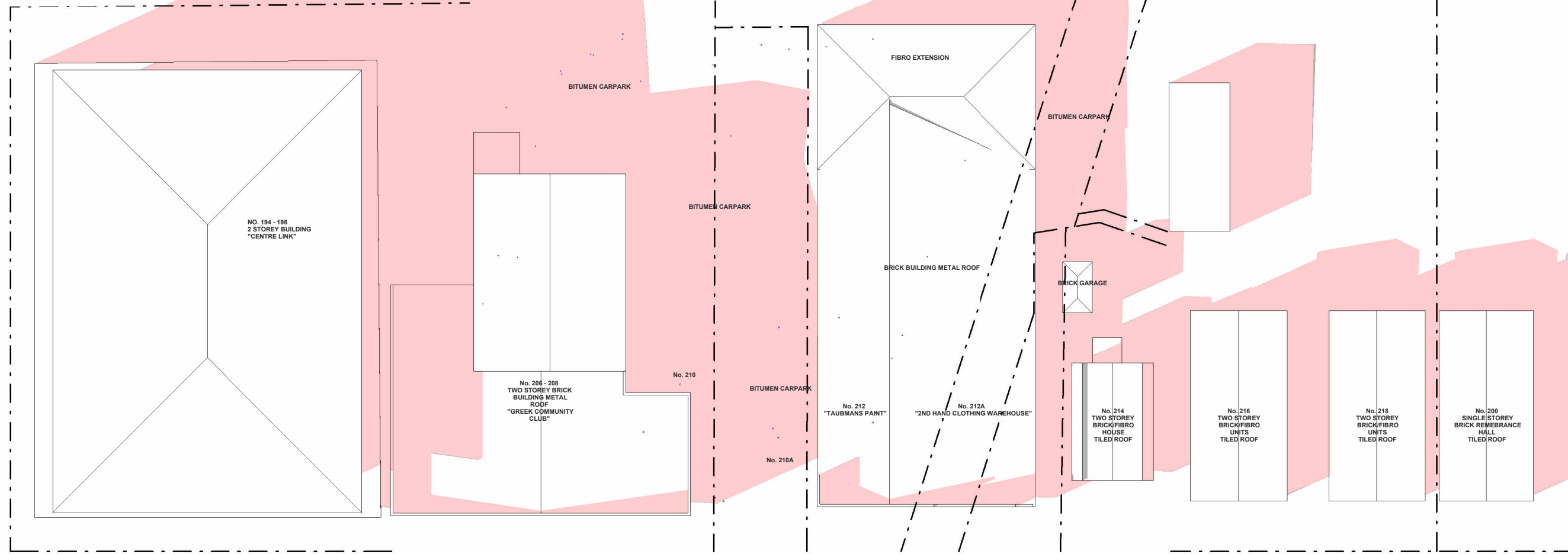
7 - EXISTING SHADOWS JUNE 21 8AM
1 : 500



LAKEMBA STREET

EXISTING SHADOW DIAGRAM LEGEND
PINK SHADING DENOTES EXISTING SHADOWS CAST BY EXISTING BUILDINGS

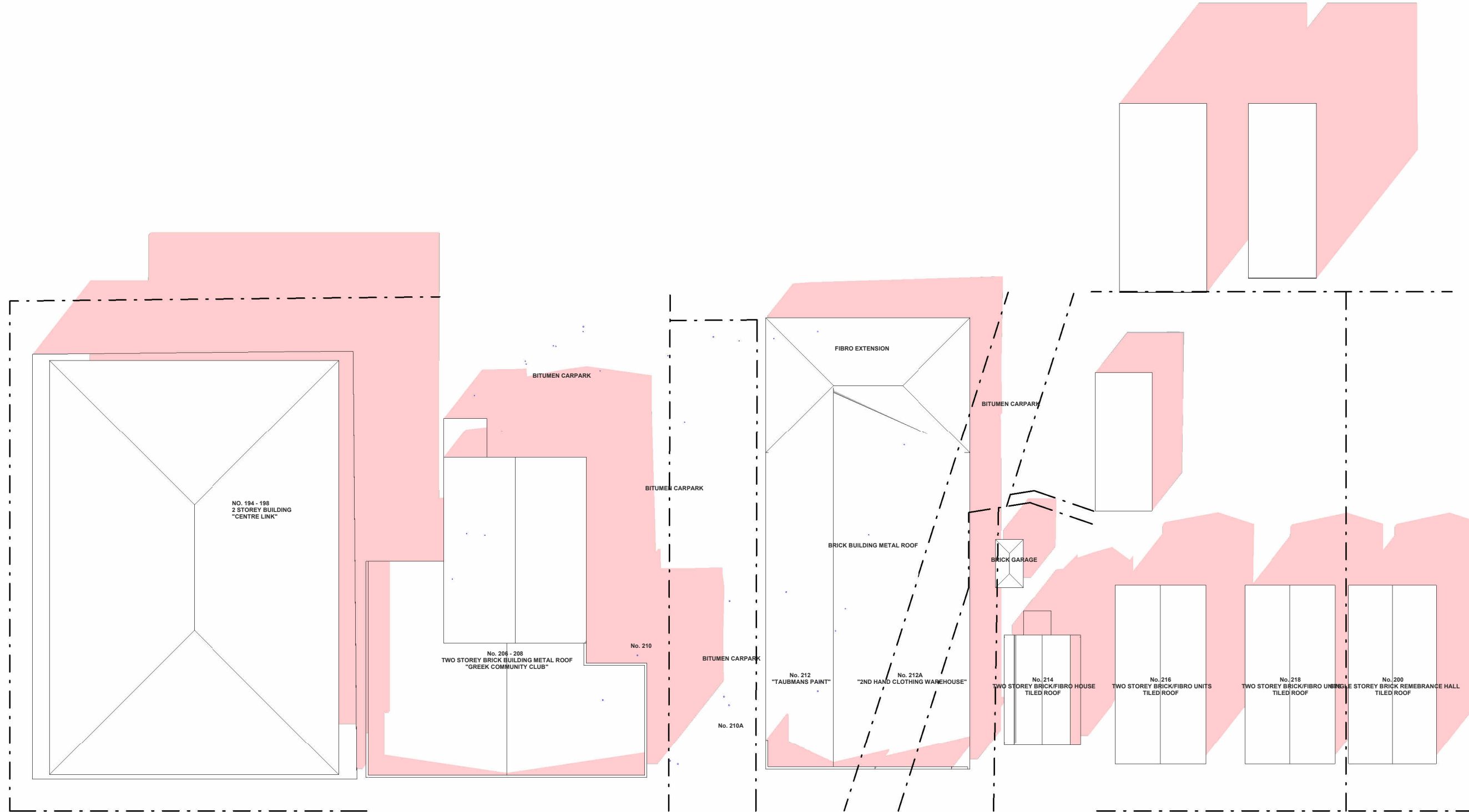
3 - EXISTING SHADOWS JUNE 21 10AM
1 : 500



LAKEMBA STREET

EXISTING SHADOW DIAGRAM LEGEND
PINK SHADING DENOTES EXISTING SHADOWS CAST BY EXISTING BUILDINGS

4 - EXISTING SHADOWS JUNE 21 9AM
1 : 500



LAKEMBA STREET

EXISTING SHADOW DIAGRAM LEGEND
PINK SHADING DENOTES EXISTING SHADOWS CAST BY EXISTING BUILDINGS

5 - EXISTING SHADOWS JUNE 21 11AM
1 : 500

ARCHITECTURAL - GENERAL NOTES

A1 All dimensions are to be confirmed on site by the builder/subcontractor, any incongruities must be reported to the Architect before commencement of any work.

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A4 The Builder/subcontractor will be held responsible for the safety of the site during the construction period of two years after the date of practical completion.

A5 It is the contractor's responsibility to have all Architectural & Structural documentation, including all site instructions any any details issued during the course of construction, approved by the relevant authorities including the local Council & the Water Board before any work may be proceeded with.

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DRAWN	DATE	ISSUE	AMENDMENT
NB	11.06.2024	A	RESPONSE TO COUNCIL RFI

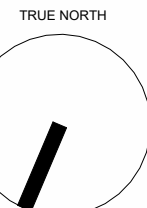
PROJECT

206-214 Lakemba Street, Lakemba NSW

SADAD

CLIENT

Greek Orthodox Community of NSW



DRAWING NAME

EXISTING SHADOWS 21 JUNE 8am - 11am

SCALE @ A1: 1 : 500

SCALE @ A3:

DRAWN: MG

CHECKER: NK

DATE: 15.07.2024

JOB NO.

--

DRAWING NO.

D033

ISSUE:

D

Katris Architects Pty Ltd

Nominated Architects: Chris Katris (Reg 9724), Nick Katris (Reg 3878), Peter Katris (Reg 4569)

Level 1, Suite 2, 28-30 Burwood Road, Burwood NSW 2134

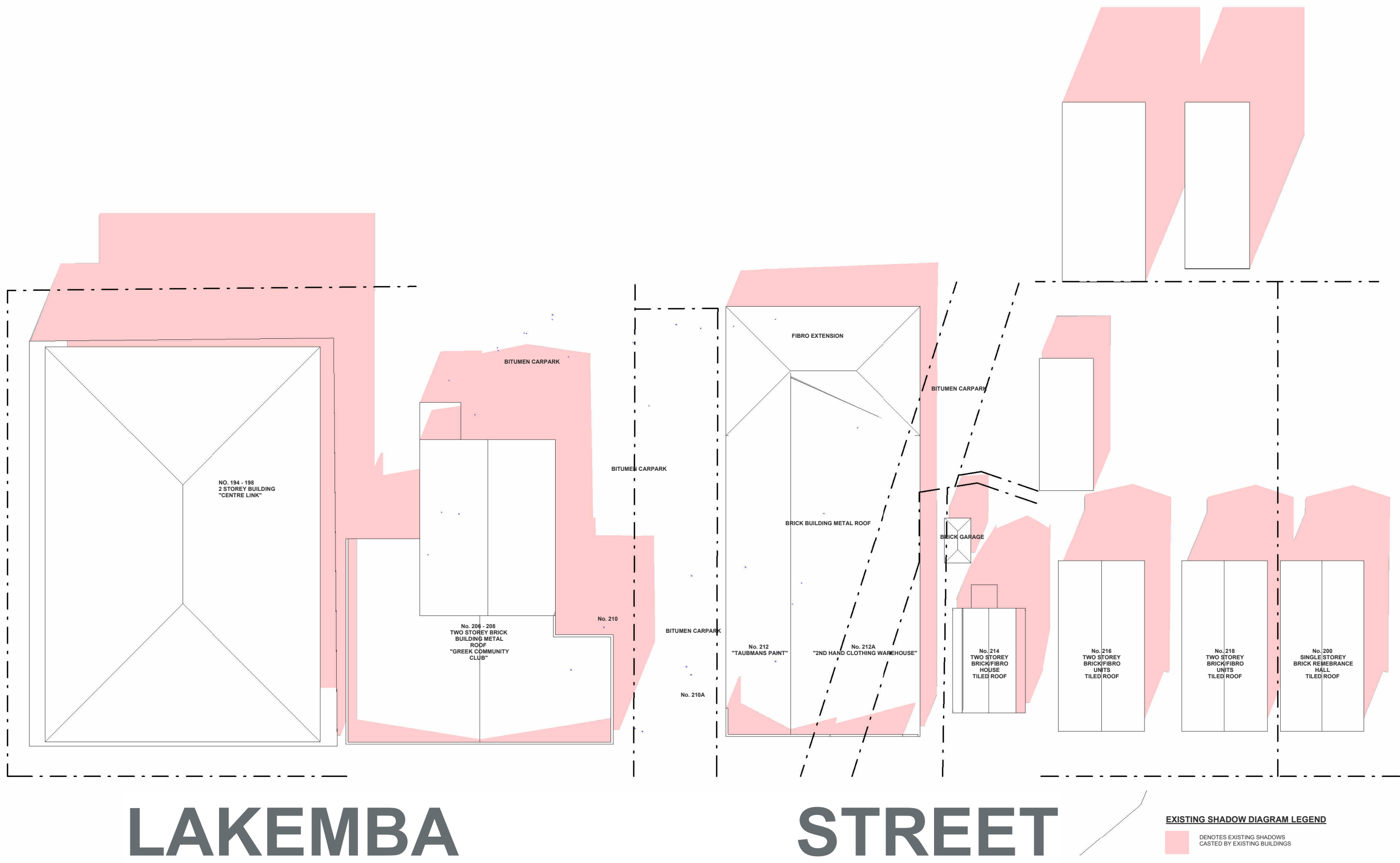
PO Box 703 Burwood 1805 NSW Australia

P 02 9744 5421 F 02 9747 5046

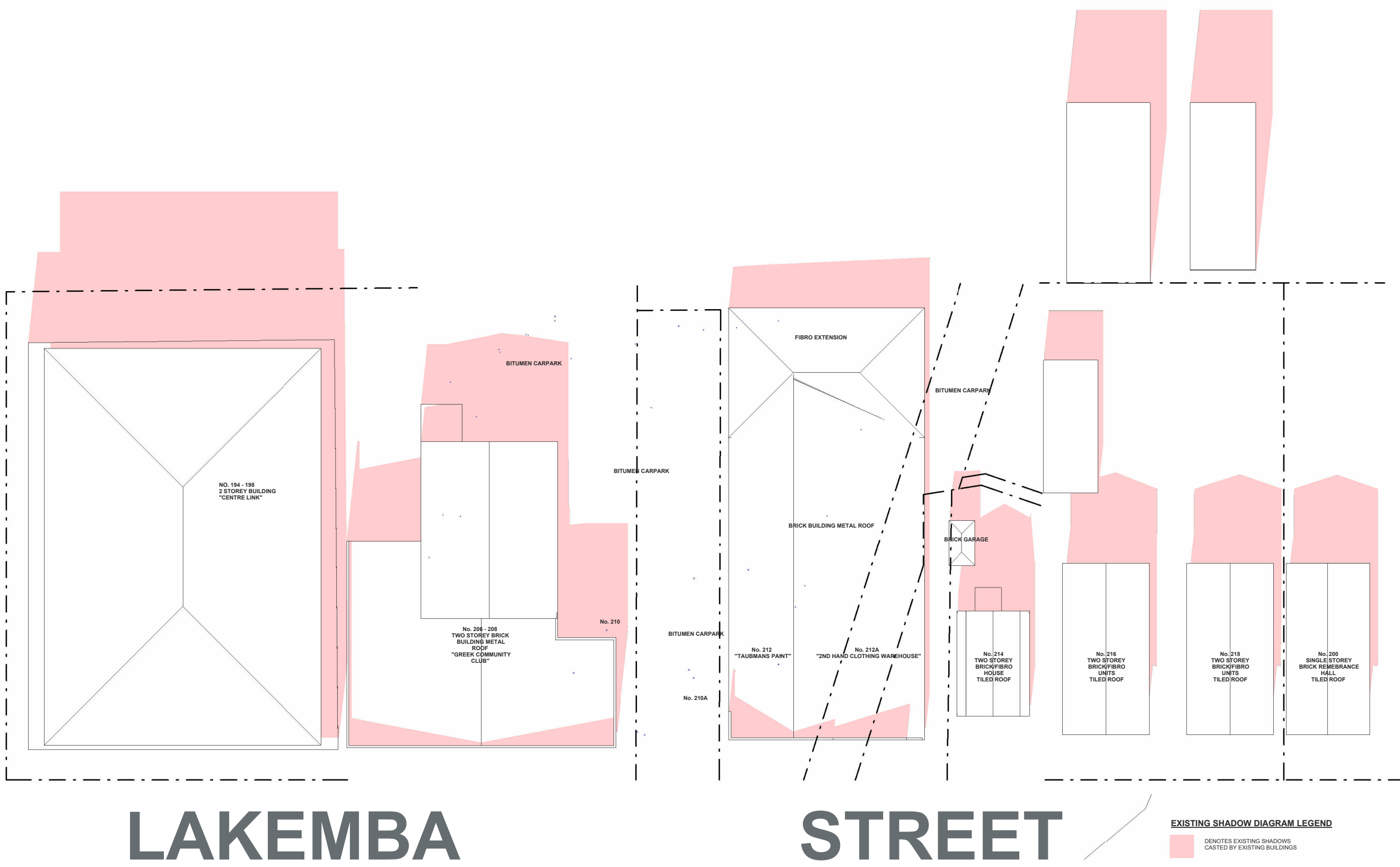
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ABN 79 001 639 970

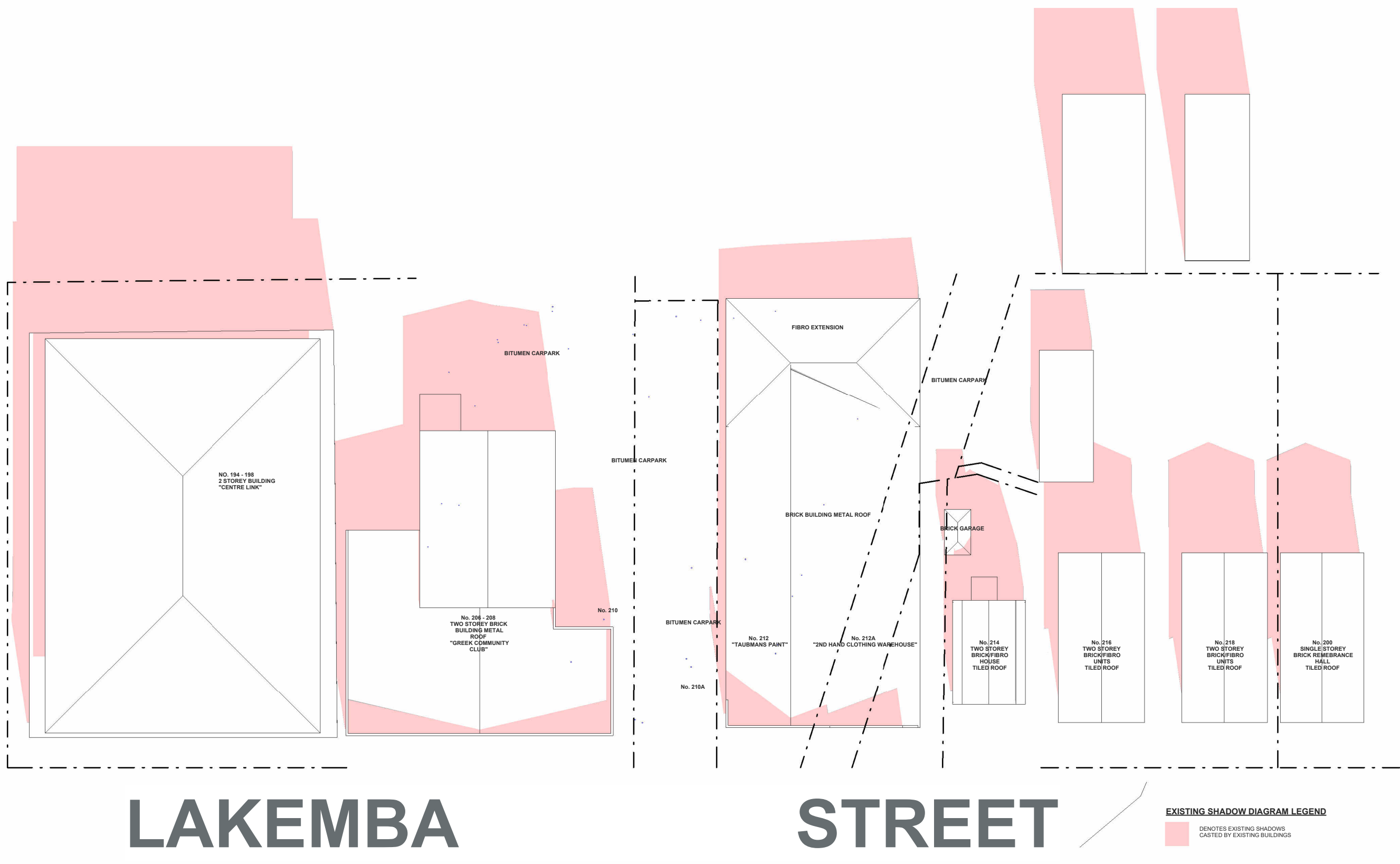




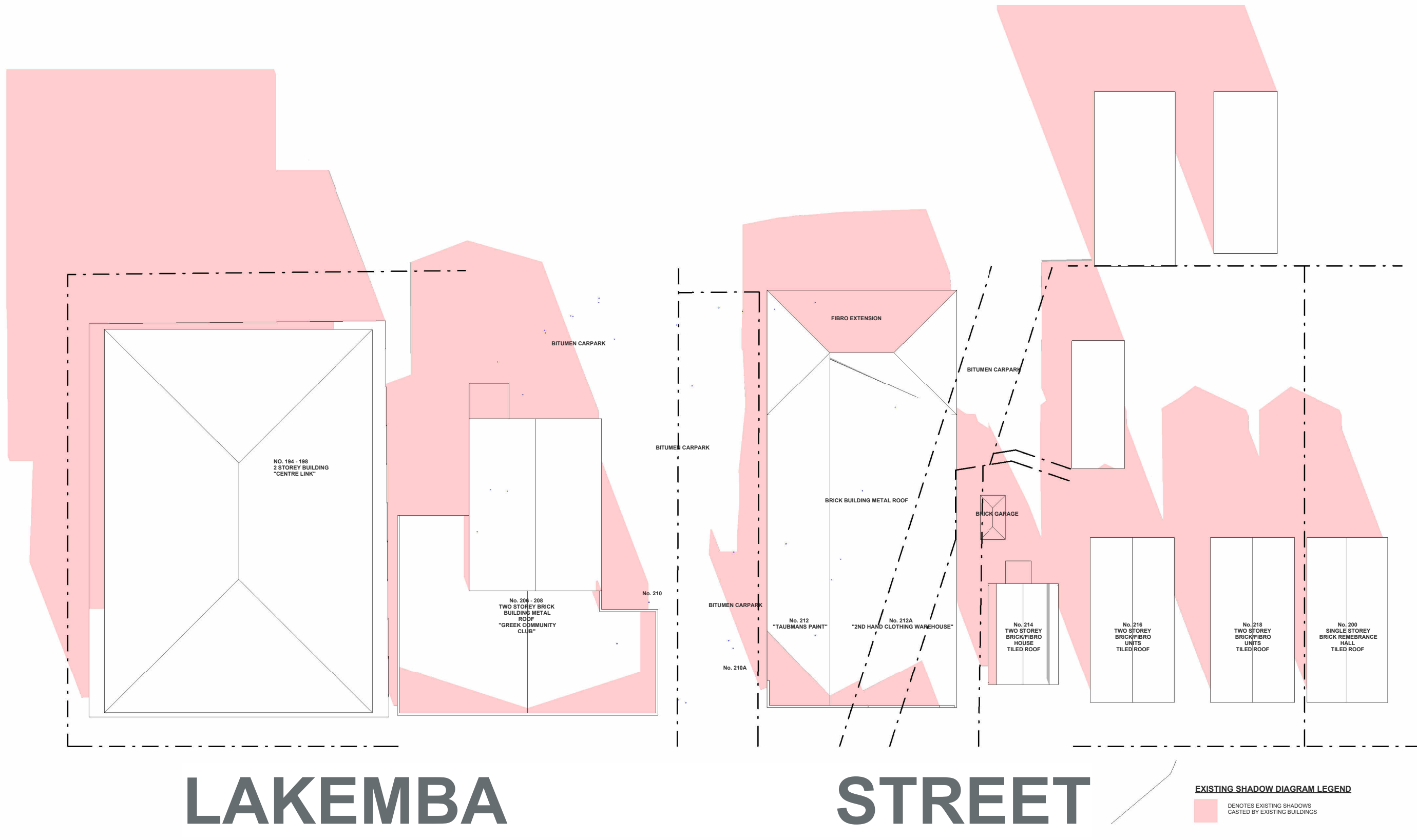
1 - EXISTING SHADOWS JUNE 21 12PM
1 : 500



2 - EXISTING SHADOWS JUNE 21 1PM
1 : 500



3 - EXISTING SHAD0OWS JUNE 21 2PM
1 : 500



4 - EXISTING SHAD0OWS JUNE 21 3PM
1 : 500

ARCHITECTURAL - GENERAL NOTES

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A3 In the event of encountering any discrepancies on these drawings, specification or subsequent instructions issued, the Builder/subcontractor shall contact the Architect before proceeding further with any work.

A4 The Builder/subcontractor will be held responsible for the safety/stability of the whole building for a minimum period of two years after the date of practical completion.

A5 It is the contractor's responsibility to have all Architectural & Structural documentation, including all site instructions any any details issued during the course of construction, approved by the relevant authorities including the local Council & the Water Board before any work may be proceeded with.

A6 All construction, control joints and expansion joints in the wall, floors, & other locations shall be in strict accordance with Architectural and/or Structural Engineering details. Repairs or breakers other than specified, are allowed without written permission from the Architect and/or Engineer.

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DRAWN	DATE	ISSUE	AMENDMENT
NB	11.06.2024	A	RESPONSE TO COUNCIL RFI

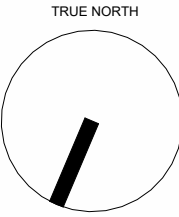
PROJECT

206-214 Lakemba Street, Lakemba NSW

SADAD

CLIENT

Greek Orthodox Community of NSW



DRAWING NAME

EXISTING SHADOWS 21 JUNE 12pm - 3pm

SCALE @ A1: 1 : 500

SCALE @ A3:

DRAWN: MG

CHECKER: NK

DATE: 15.07.2024

JOB NO.

--

DRAWING NO.

D034

ISSUE:

D

Katris Architects Pty Ltd

Nominated Architects: Chris Katris (Reg 9724), Nick Katris (Reg 3878), Peter Katris (Reg 4569)

Level 1, Suite 2, 28-30 Burwood Road, Burwood NSW 2134

PO Box 703 Burwood 1805 NSW Australia

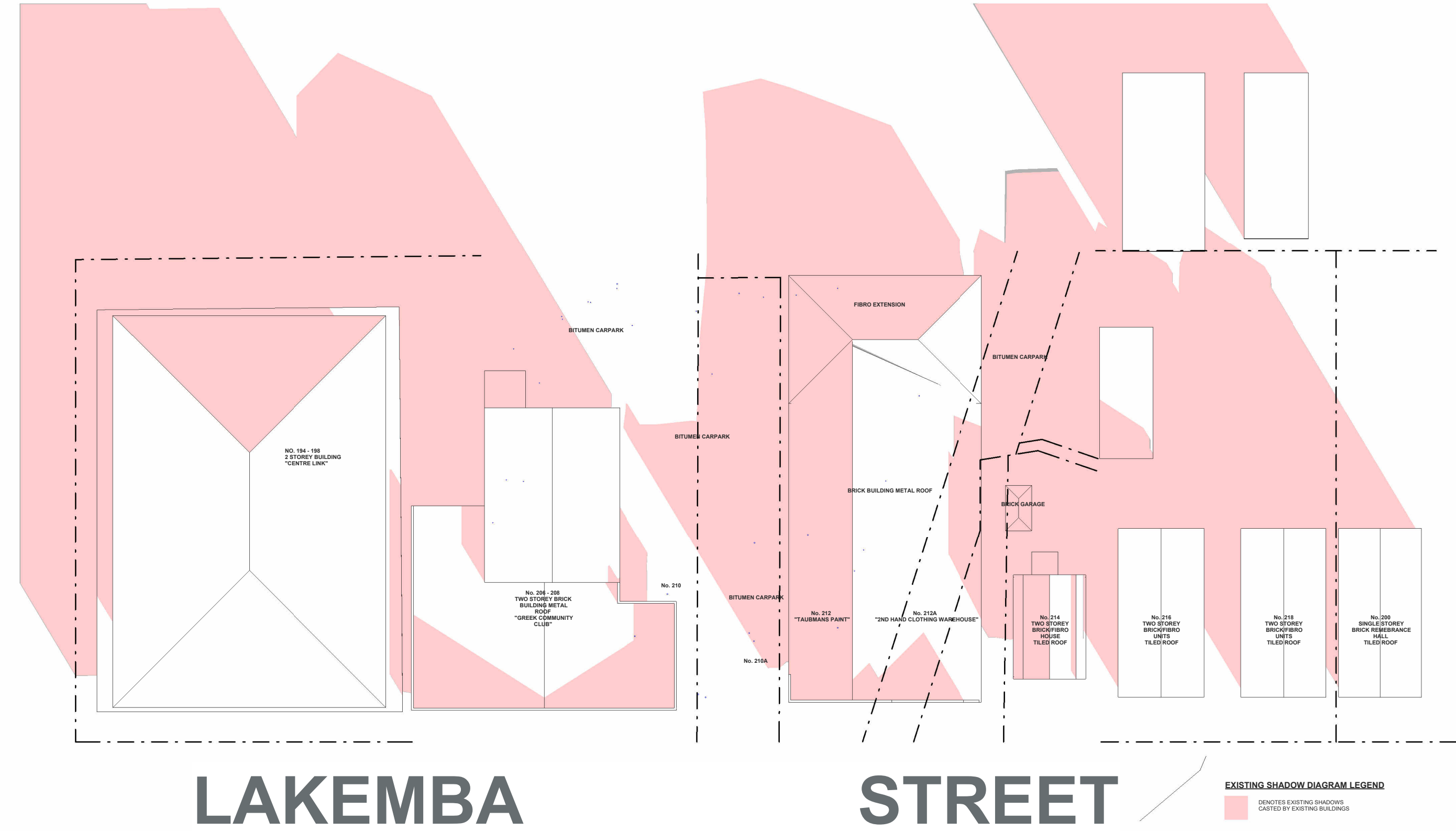
P 02 9744 5421

F 02 9747 5046

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ABN 79 001 639 970





LAKEMBA STREET

EXISTING SHADOW DIAGRAM LEGEND
DENSEST EXISTING SHADOWS
CAST BY EXISTING BUILDINGS

- EXISTING SHAD0OWS JUNE 21 4PM

1 : 500

ARCHITECTURAL - GENERAL NOTES

A1 All dimensions are to be confirmed on site by the builder/subcontractor, any incongruities must be reported to the Architect before commencement of any work.

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A4 The Builder/subcontractor will be held responsible for the watertightness of the entire building for a minimum period of two years after the date of practical completion.

A5 It is the contractor's responsibility to have all Architectural & Structural documentation, including all site instructions any any details issued during the course of construction, approved by the relevant authorities including the local Council & the Water Board before any work may be proceeded with.

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DRAWN	DATE	ISSUE	AMENDMENT
NB	11.06.2024	A	RESPONSE TO COUNCIL RFI

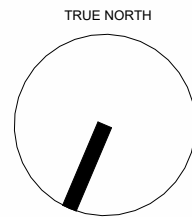
PROJECT

206-214 Lakemba Street, Lakemba NSW

SADAD

CLIENT

Greek Orthodox Community of NSW



DRAWING NAME

EXISTING SHADOWS 21 JUNE 4pm

SCALE @ A1: 1 : 500

SCALE @ A3:

DRAWN: MG

CHECKER: NK

DATE: 15.07.2024

JOB NO.

--

DRAWING NO.

D035

ISSUE:

D

Katris Architects Pty Ltd

Nominated Architects: Chris Katris (Reg 9724), Nick Katris (Reg 3878), Peter Katris (Reg 4569)

Level 1, Suite 2, 28-30 Burwood Road, Burwood NSW 2134

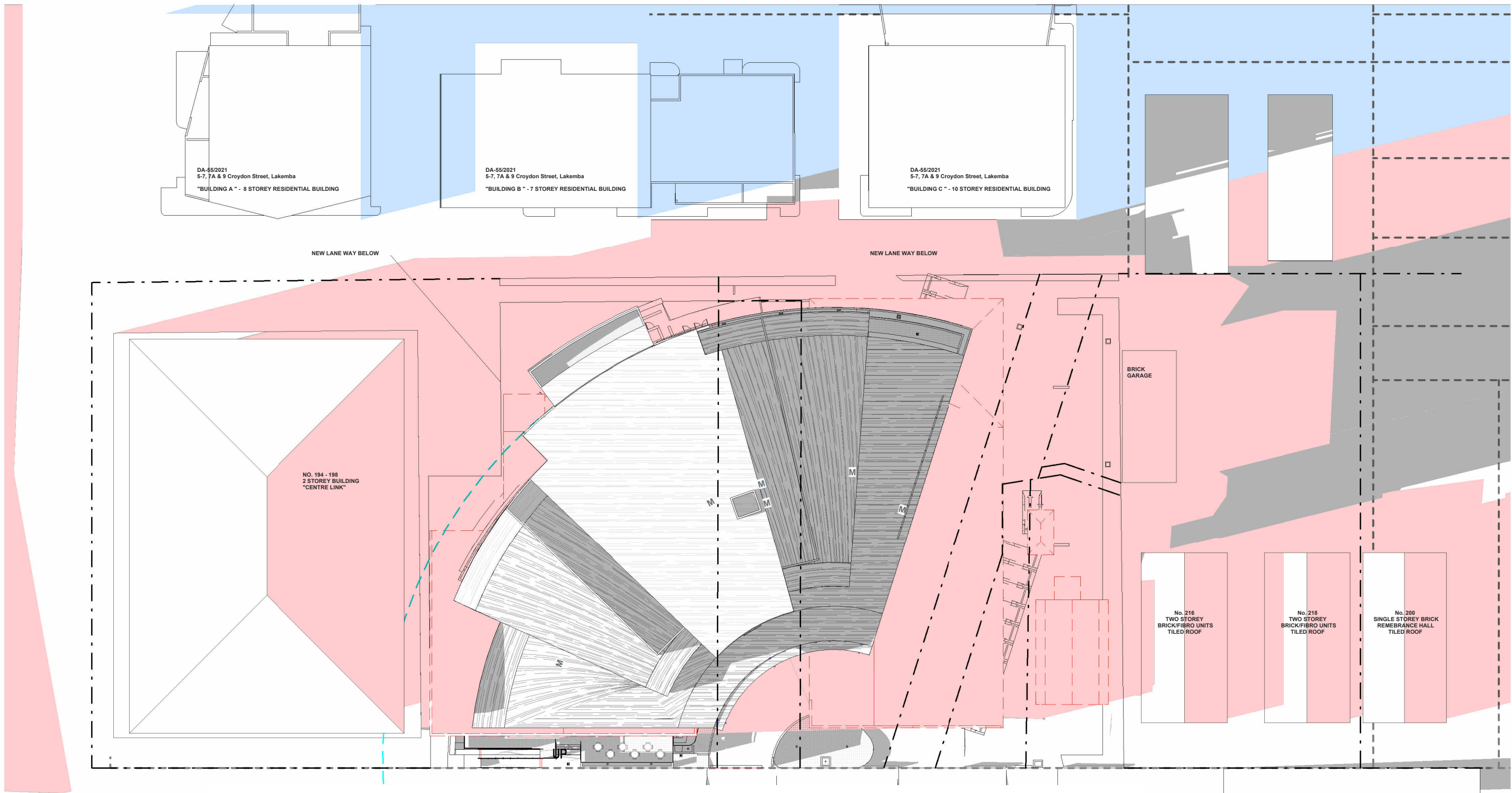
PO Box 703 Burwood 1805 NSW Australia

P 02 9744 5421 F 02 9747 5046

www.katris.com.au

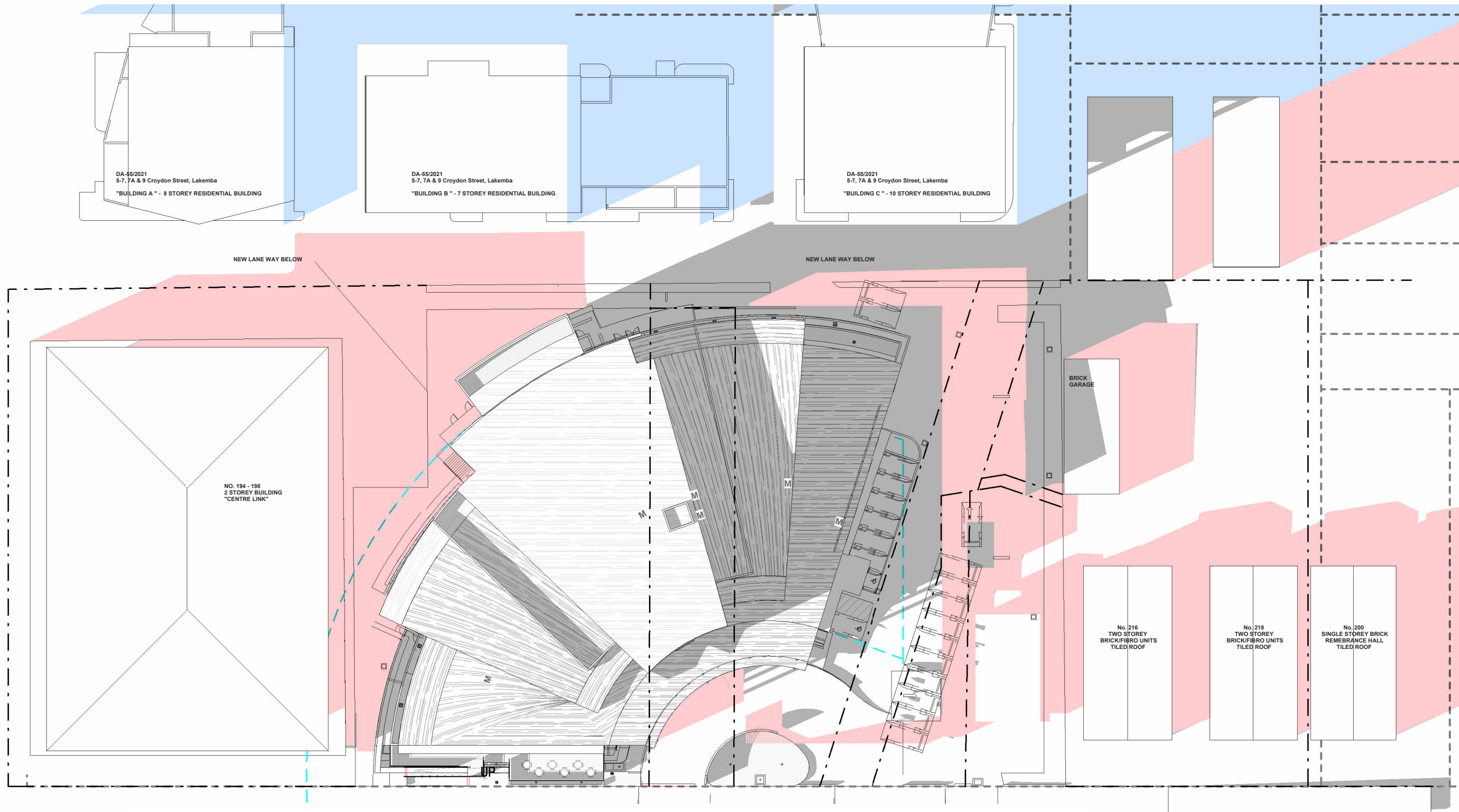
ABN 79 001 639 970





LAKEMBA STREET

PROPOSED SHADOW DIAGRAM LEGEND
DENOTES EXISTING SHADOWS CAST BY EXISTING BUILDINGS
DENOTES PROPOSED SHADOWS CAST BY PROPOSED BUILDINGS AT NO 206-214 LAKEMBA STREET, LAKEMBA NSW
DENOTES PROPOSED SHADOW CAST BY PROPOSED NEIGHBOURING DA 90221



LAKEMBA STREET

PROPOSED SHADOW DIAGRAM LEGEND
DENOTES EXISTING SHADOWS CAST BY EXISTING BUILDINGS
DENOTES PROPOSED SHADOWS CAST BY PROPOSED BUILDINGS AT NO 206-214 LAKEMBA STREET, LAKEMBA NSW
DENOTES PROPOSED SHADOW CAST BY PROPOSED NEIGHBOURING DA 90221

1

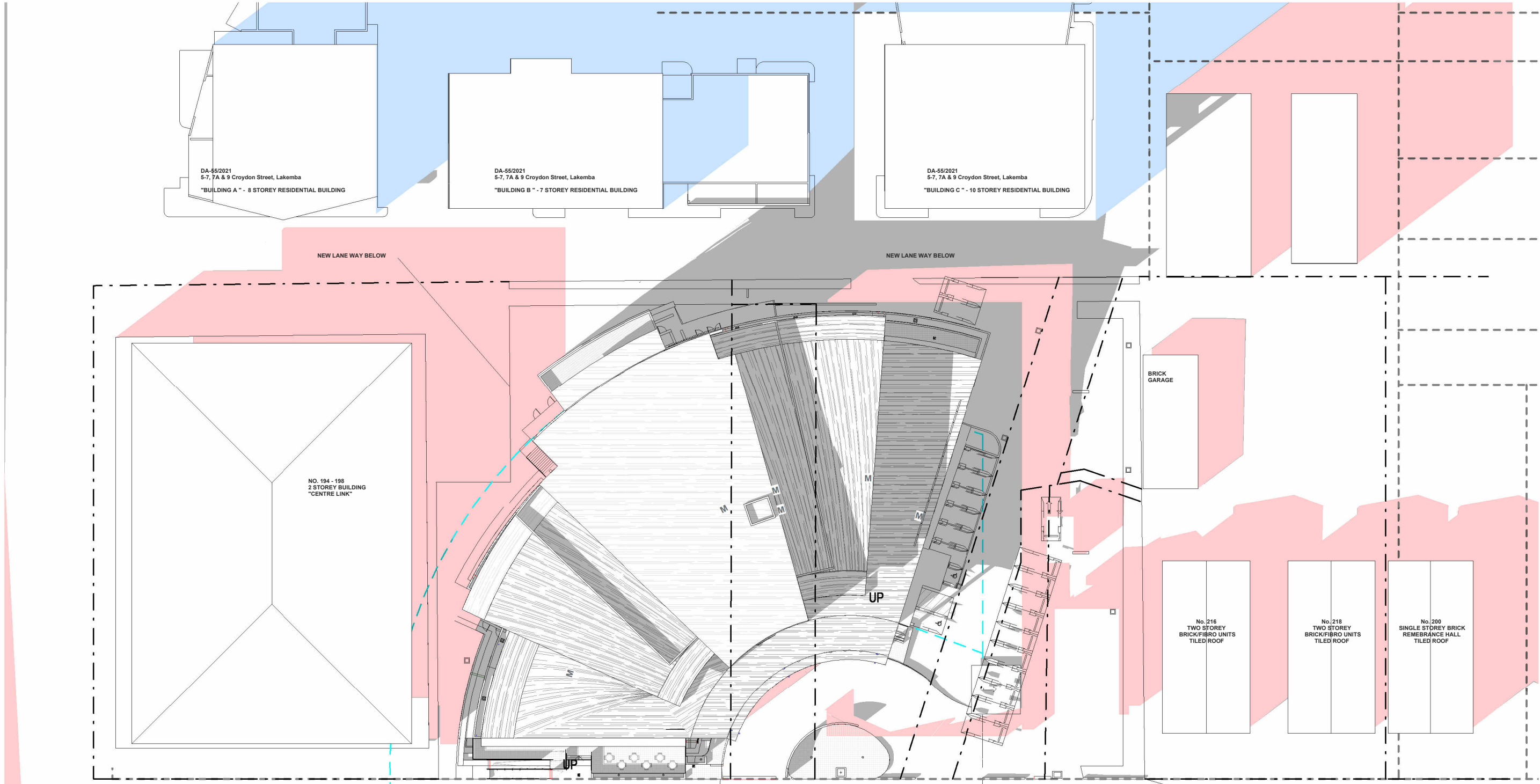
- PROPOSED SHADOWS SHADOWS JUNE 21 8AM

1 : 500

2

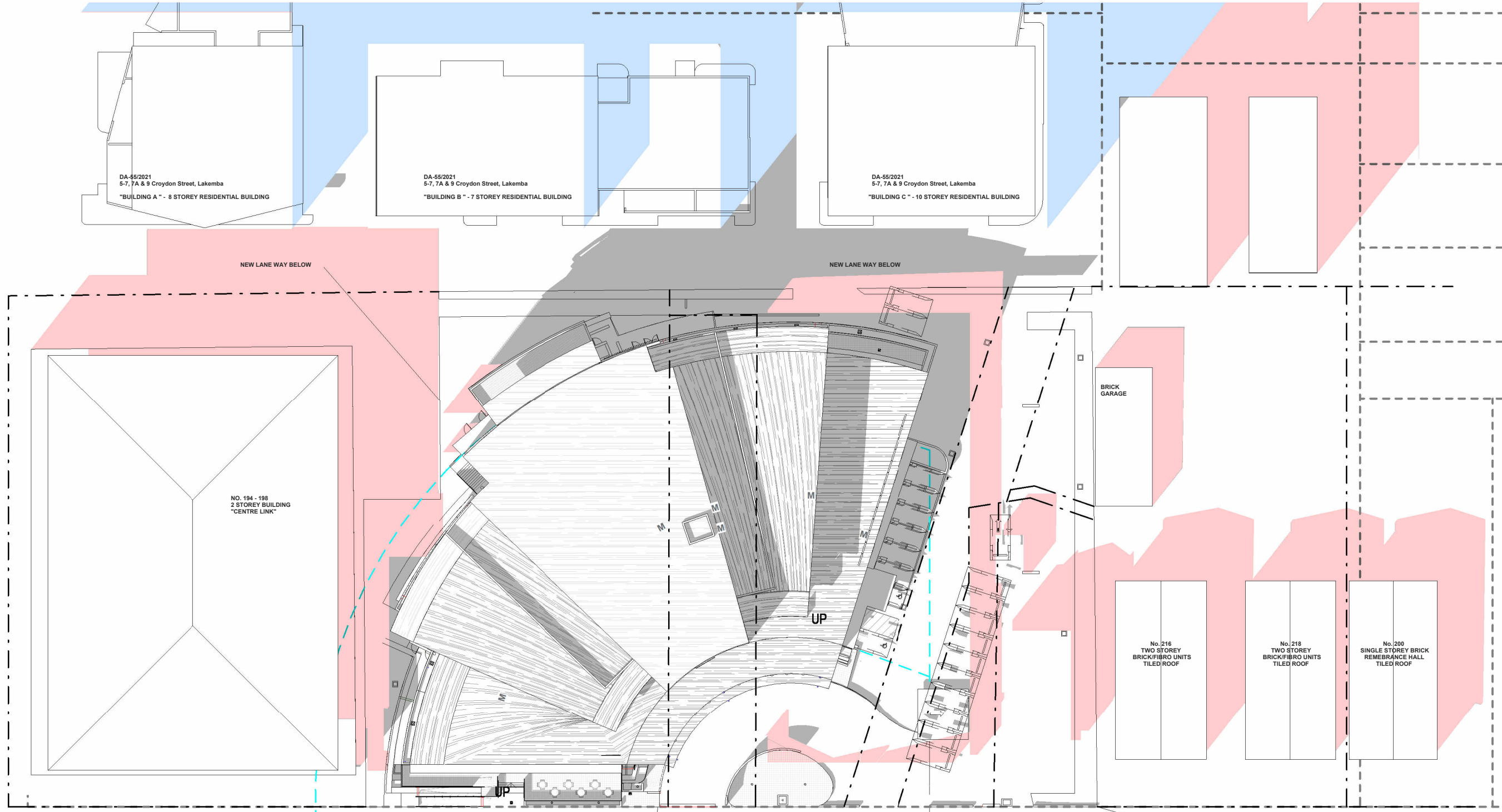
- PROPOSED SHADOWS SHADOWS JUNE 21 9AM

1 : 500



LAKEMBA STREET

PROPOSED SHADOW DIAGRAM LEGEND
DENOTES EXISTING SHADOWS CAST BY EXISTING BUILDINGS
DENOTES PROPOSED SHADOWS CAST BY PROPOSED BUILDINGS AT NO 206-214 LAKEMBA STREET, LAKEMBA NSW
DENOTES PROPOSED SHADOW CAST BY PROPOSED NEIGHBOURING DA 90221



LAKEMBA STREET

PROPOSED SHADOW DIAGRAM LEGEND
DENOTES EXISTING SHADOWS CAST BY EXISTING BUILDINGS
DENOTES PROPOSED SHADOWS CAST BY PROPOSED BUILDINGS AT NO 206-214 LAKEMBA STREET, LAKEMBA NSW
DENOTES PROPOSED SHADOW CAST BY PROPOSED NEIGHBOURING DA 90221

3

- PROPOSED SHADOWS SHADOWS JUNE 21 10AM

1 : 500

4

- PROPOSED SHADOWS SHADOWS JUNE 21 11AM

1 : 500

ARCHITECTURAL - GENERAL NOTES

A1 All dimensions are to be confirmed on site by the builder/subcontractor, any incongruities must be reported to the Architect before commencement of any work.
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A3 In the event of encountering any discrepancies on these drawings, specification or subsequent instructions issued, the Builder/subcontractor shall contact the Architect before proceeding further with any work.
A4 The Builder/subcontractor will be held responsible for the safety of the site during the construction of the building for a minimum period of two years after the date of practical completion.
A5 It is the contractor's responsibility to have all Architectural & Structural documentation, including all site instructions any any details issued during the course of construction, approved by the relevant authorities including the local Council & the Water Board before any work may be proceeded with.
A6 All construction, control joints and expansion joints in the wall, floors, & other locations shall be in strict accordance with Architectural and/or Structural Engineering details. Nipoints or breakers other than specified, are allowed without written permission from the Architect and/or Engineer.
A7 Measurements for the fabrication of secondary components such as, windows, doors, internal frames, structural steel components and the like, are not to be taken from these documents. Measurements must be taken on site to suit the work as constructed.
A8 All structural components shall be in strict accordance to details and specifications as prepared by a structural engineer, and these details from part of the total specification.
A9 All existing structures need to be examined for structural adequacy, and it is the Contractor's responsibility to ensure that a certificate of structural adequacy is available prior to the start of any work.
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A11 Foundation set-out, to be performed by the Surveyor mentioned in A10 and recovery pegs must be protected during construction.
A12 All labor work to comply with the requirements of the Light Timber Framing Code S.A.A. Codes and Structural Engineer's details and specification.
A13 Copyright of all documentation and designs relating to both Architectural and Structural Engineering, are retained by this office. Written authority is required for any reproduction.
A14 All Architectural documentation to be read in conjunction with the Structural Engineer's details and specification.
A15 Comply with the 'hazardous materials' clause of the specification.
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DRAWN DATE ISSUE AMENDMENT

NB 11.06.2024 A RESPONSE TO COUNCIL RFI

PROJECT

206-214 Lakemba Street, Lakemba NSW

SADAD

CLIENT

Greek Orthodox Community of NSW

DRAWING NAME

PROPOSED SHADOWS 21 JUNE 8AM - 11AM

SCALE @ A1: 1 : 500

SCALE @ A3:

DRAWN: MG

CHECKER: NK

DATE: 15.07.2024

JOB NO.

--

DRAWING NO.

D036

ISSUE:

D

Katris Architects Pty Ltd

Nominated Architects: Chris Katris (Reg 9724), Nick Katris (Reg 3878), Peter Katris (Reg 4569)

Level 1, Suite 2, 28-30 Burwood Road, Burwood NSW 2134

PO Box 703 Burwood 1805 NSW Australia

P 02 9744 5421 F 02 9747 5046

www.katris.com.au

ABN 79 001 639 970

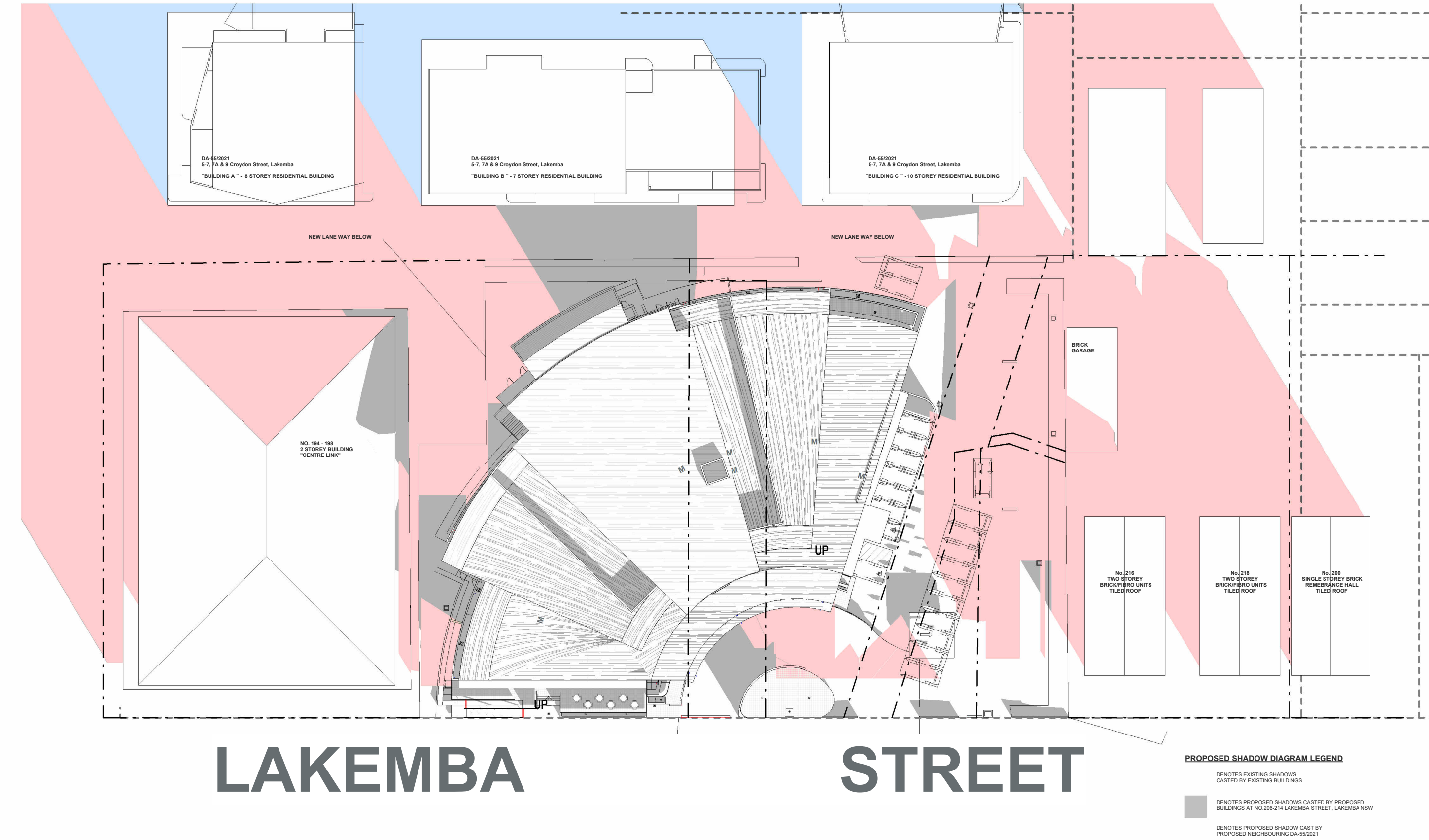




LAKEMBA STREET

LAKEMBA STREET

LAKEMBA STREET



1 - PROPOSED SHADOWS SHADOWS JUNE 21 4PM
1 : 500

ARCHITECTURAL - GENERAL NOTES

A1 All dimensions are to be confirmed on site by the builder/subcontractor, any incongruities must be reported to the Architect before commencement of any work.

A2 The Builder/subcontractor will be held responsible for any construction details which have not been approved by the Architect.

A3 In the event of encountering any discrepancies on these drawings, specification or subsequent instructions issued, the Builder/subcontractor shall contact the Architect before proceeding further with any work.

A4 The Builder/subcontractor will be held responsible for the watertightness of the whole building for a minimum period of two years after the date of practical completion.

A5 It is the contractor's responsibility to have all Architectural & Structural documentation, including all site instructions any any details issued during the course of construction, approved by the relevant authorities including the local Council & the Water Board before any work may be proceeded with.

A6 All construction, control joints and expansion joints in the wall, floors, & other locations shall be in strict accordance with Architectural and/or Structural Engineering details. Nipoints or breakers other than specified, are allowed without written permission from the Architect and/or Engineer.

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DRAWN	DATE	ISSUE	AMENDMENT
NB	11.06.2024	A	RESPONSE TO COUNCIL RFI

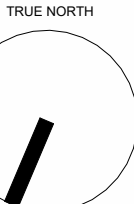
PROJECT

206-214 Lakemba Street, Lakemba NSW

SADAD

CLIENT

Greek Orthodox Community of NSW



DRAWING NAME

PROPOSED SHADOWS 21 JUNE 4PM

SCALE @ A1: 1 : 500

SCALE @ A3:

DRAWN: MG

CHECKER: NK

DATE: 15.07.2024

JOB NO.

--

DRAWING NO.

D038

ISSUE:

D

Katris Architects Pty Ltd

Nominated Architects: Chris Katris (Reg 9724), Nick Katris (Reg 3878), Peter Katris (Reg 4569)

Level 1, Suite 2, 28-30 Burwood Road, Burwood NSW 2134

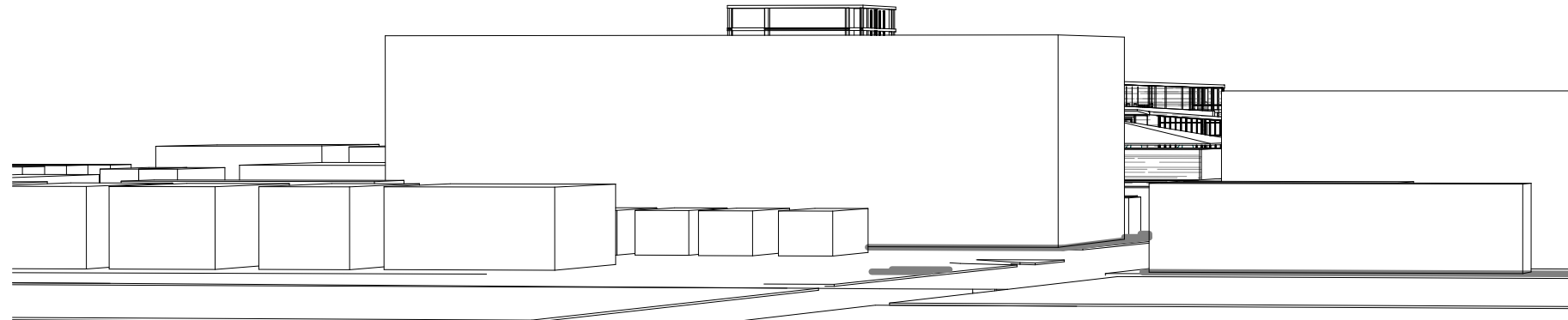
PO Box 703 Burwood 1805 NSW Australia

P 02 9744 5421 F 02 9747 5046

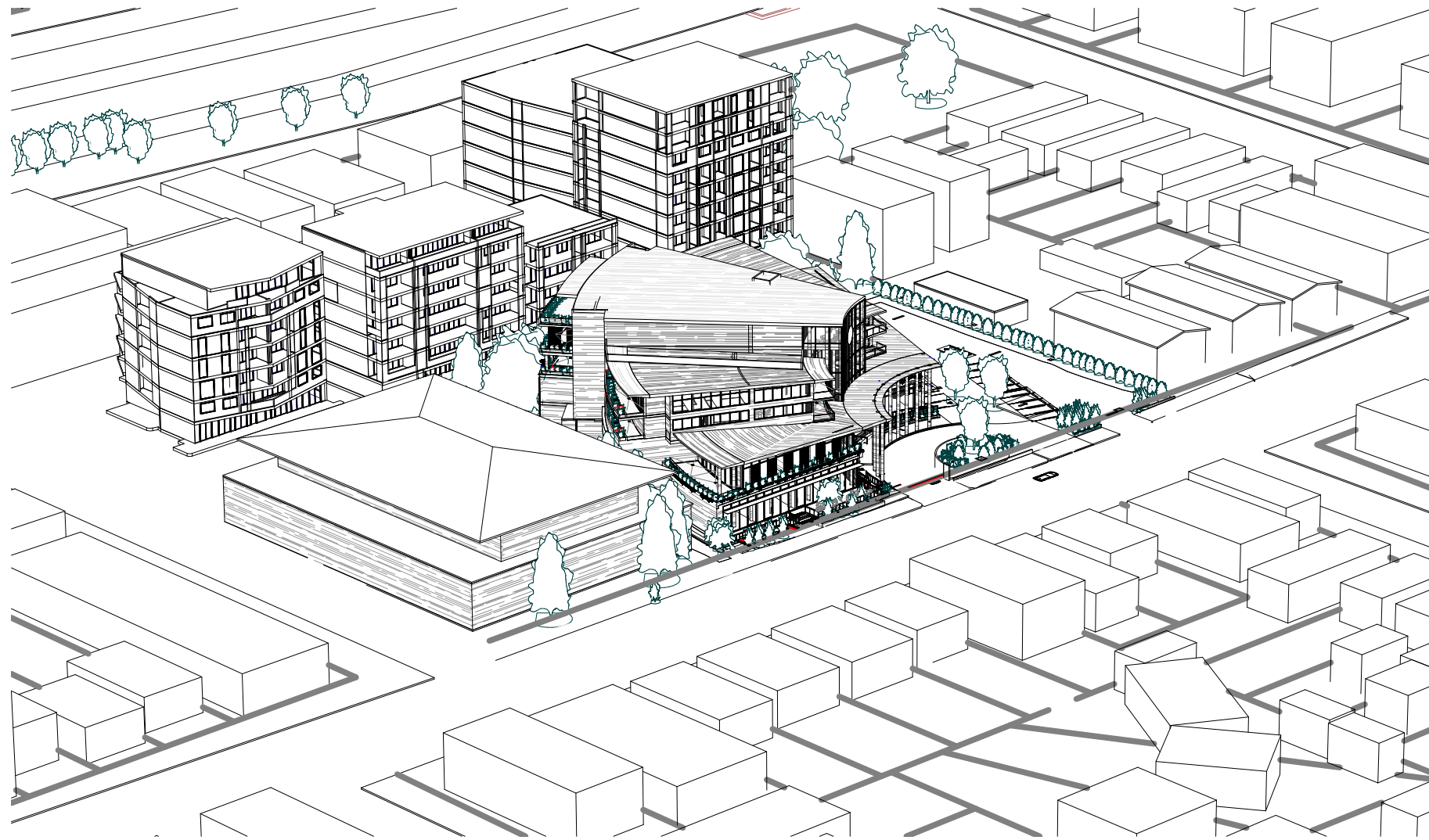
www.katris.com.au

ABN 79 001 639 970

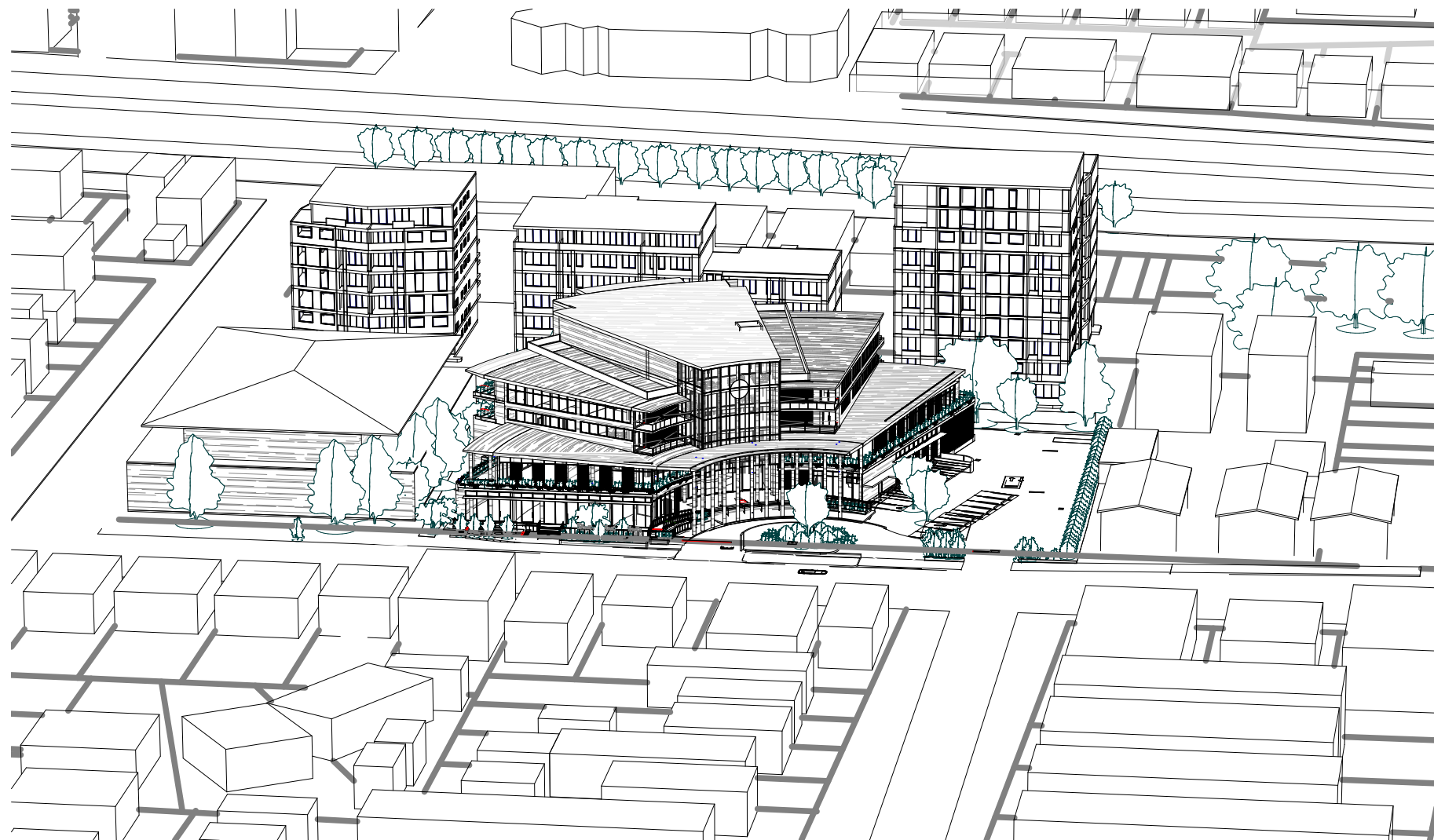




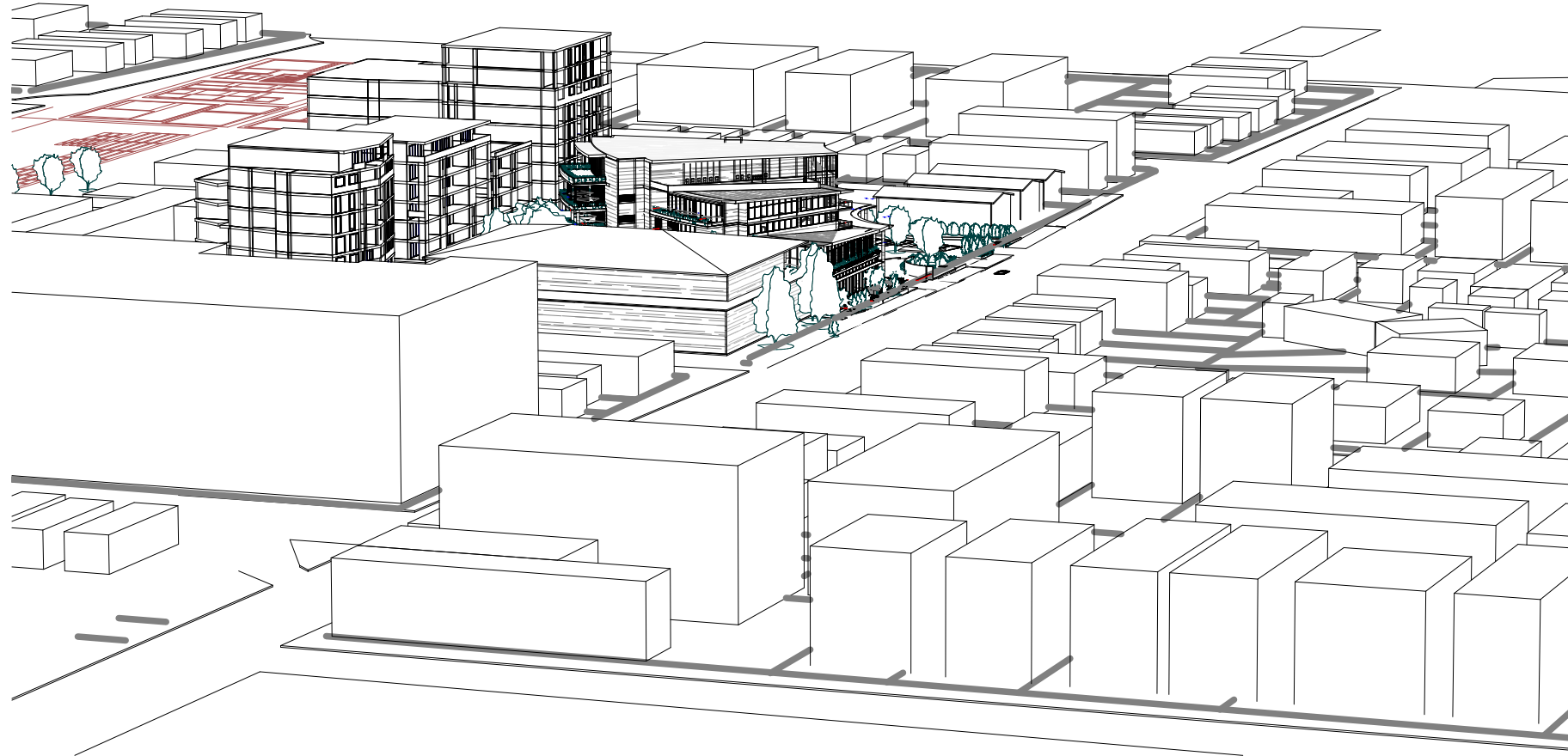
1 VIEWS FROM THE SUN 8 AM



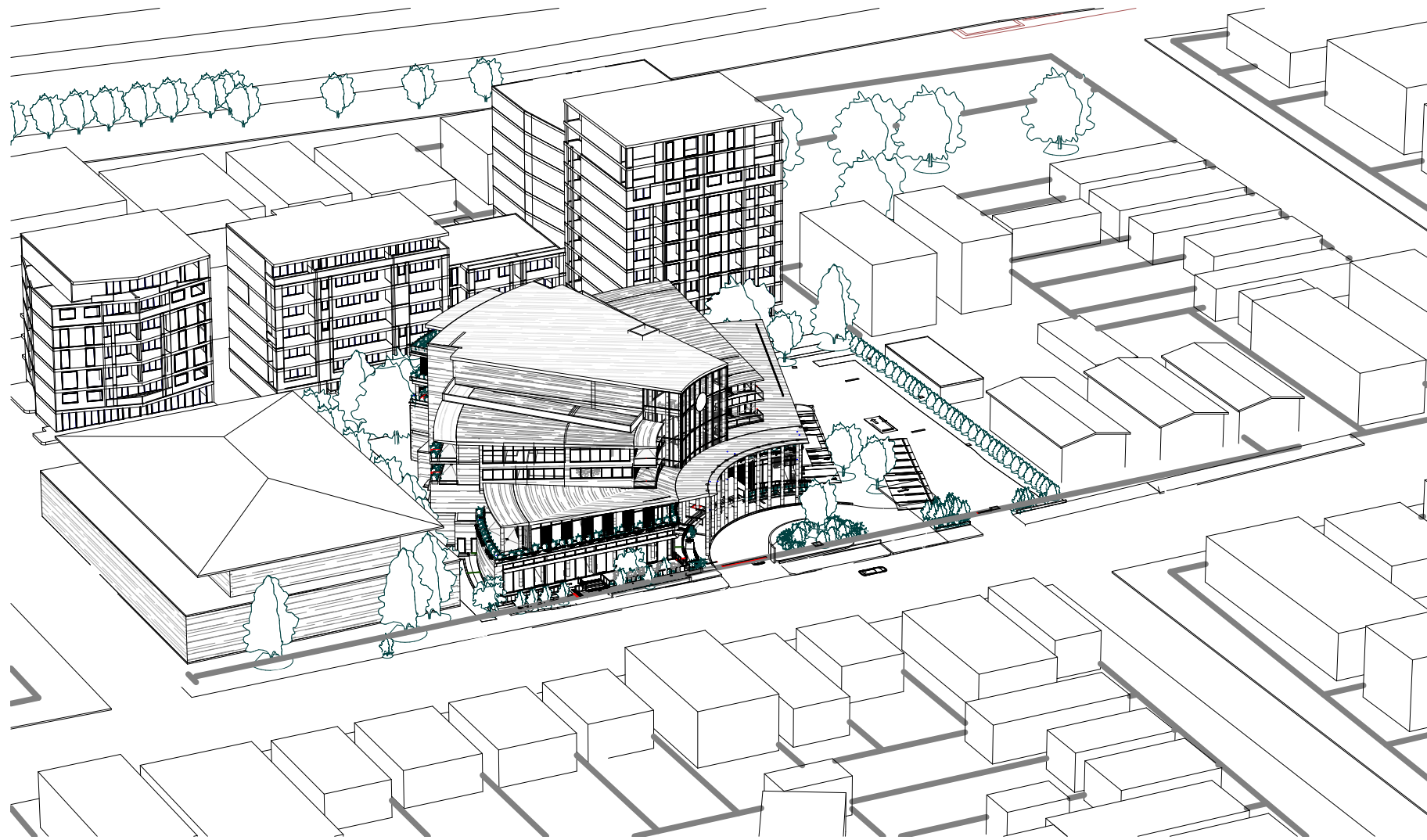
4 VIEWS FROM THE SUN 11AM



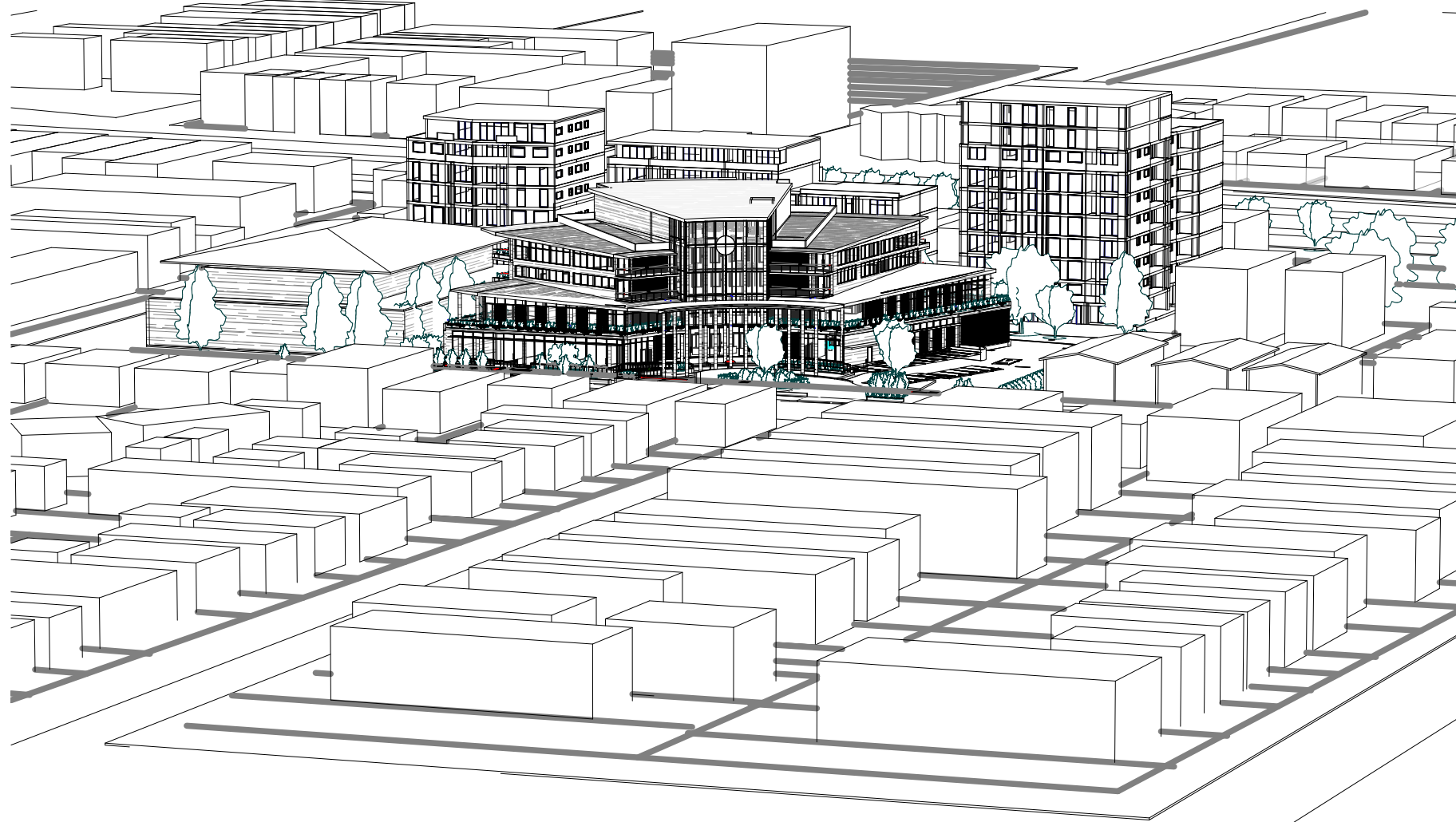
7 VIEWS FROM THE SUN 2PM



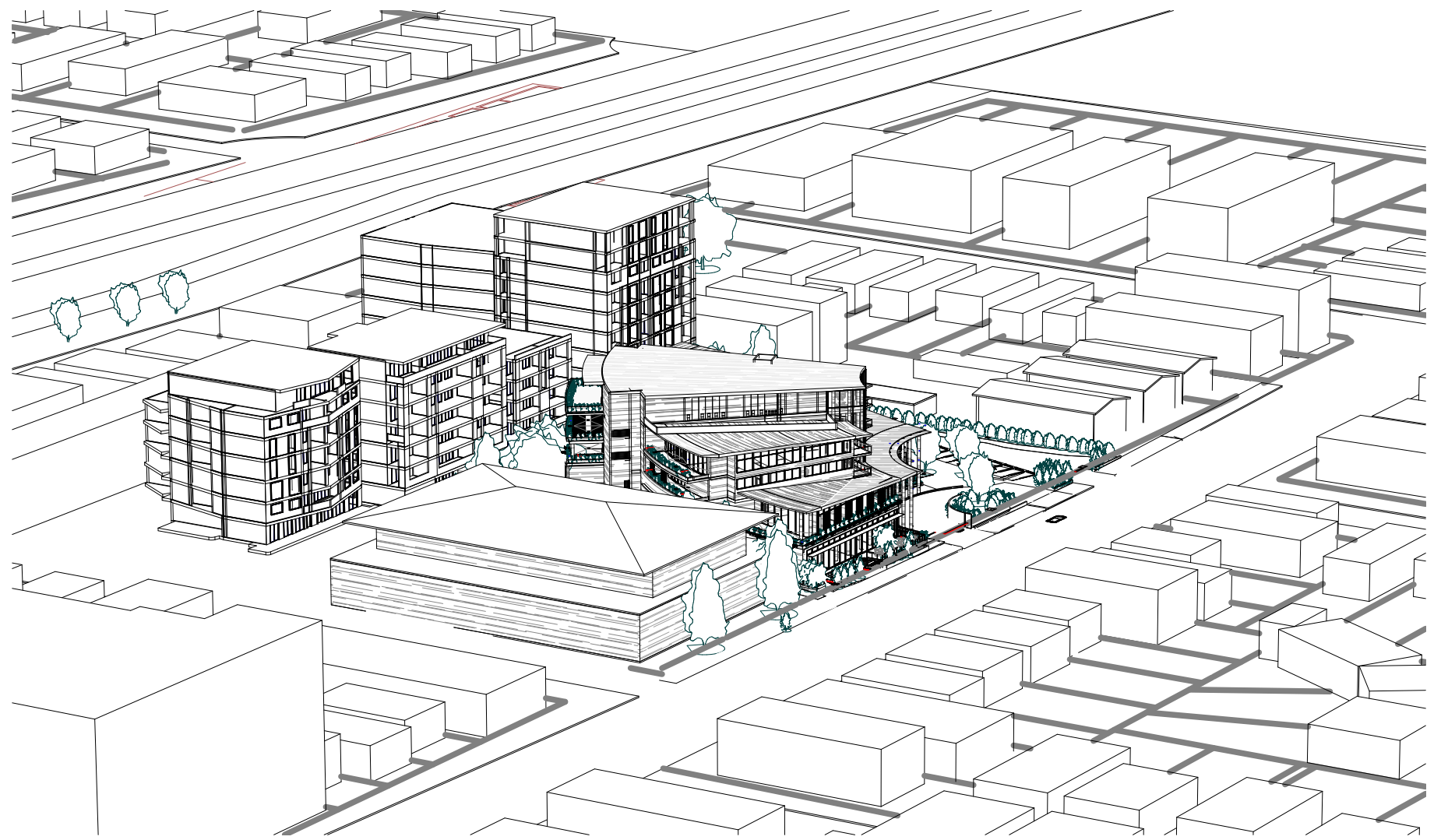
2 VIEWS FROM THE SUN 9 AM



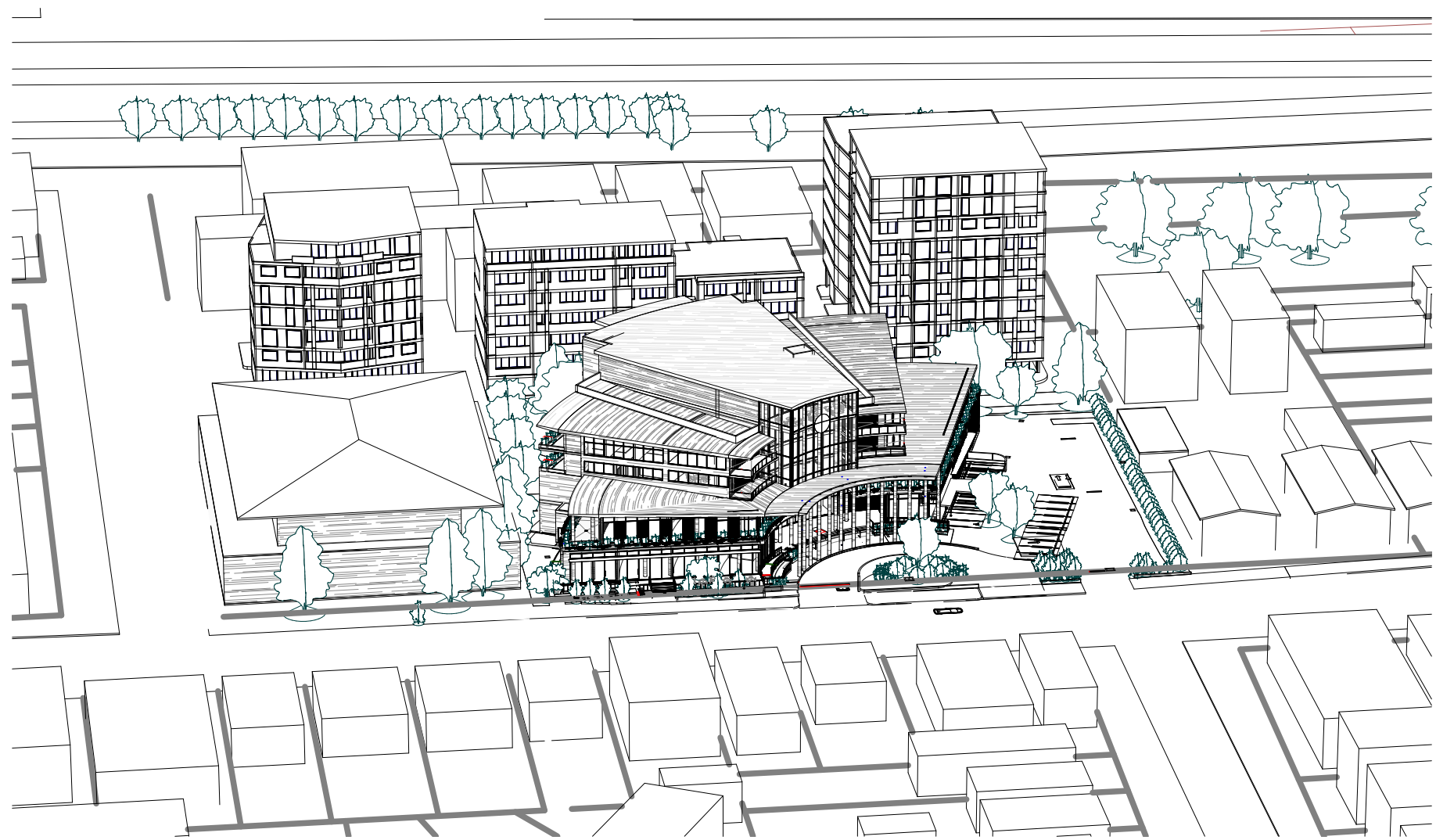
5 VIEWS FROM THE SUN 12PM



8 VIEWS FROM THE SUN 3PM



3 VIEW FORM THE SUN 10AM



6 VIEWS FROM THE SUN 1PM



9 VIEWS FROM THE SUN 4PM

ARCHITECTURAL - GENERAL NOTES

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DRAWN	DATE	ISSUE	AMENDMENT
NB	11.06.2024	A	RESPONSE TO COUNCIL RFI

PROJECT

206-214 Lakemba Street, Lakemba NSW

SADAD

CLIENT

Greek Orthodox Community of NSW

DRAWING NAME

PROPOSED SHADOWS 21 JUNE VIEWS FORM THE SUN 8AM - 4PM

SCALE @ A1:

DRAWN: MG

DATE: 15.07.2024

SCALE @ A3:

CHECKER: NK

JOB NO.

DRAWING NO.

ISSUE:

--

D039

D

Katris Architects Pty Ltd

Nominated Architects: Chris Katris (Reg 9724), Nick

Katris (Reg 3878), Peter Katris (Reg 4569)

Level 1, Suite 2, 28-30 Burwood Road,

Burwood NSW 2134

PO Box 703 Burwood 1805 NSW Australia

P 02 9744 5421

F 02 9747 5046

www.katris.com.au

ABN 79 001 639 970



"BUILDING A "

"BUILDING B "

"BUILDING C "



1
D040 JUNE 21 - 0900

"BUILDING A "

"BUILDING B "

"BUILDING C "

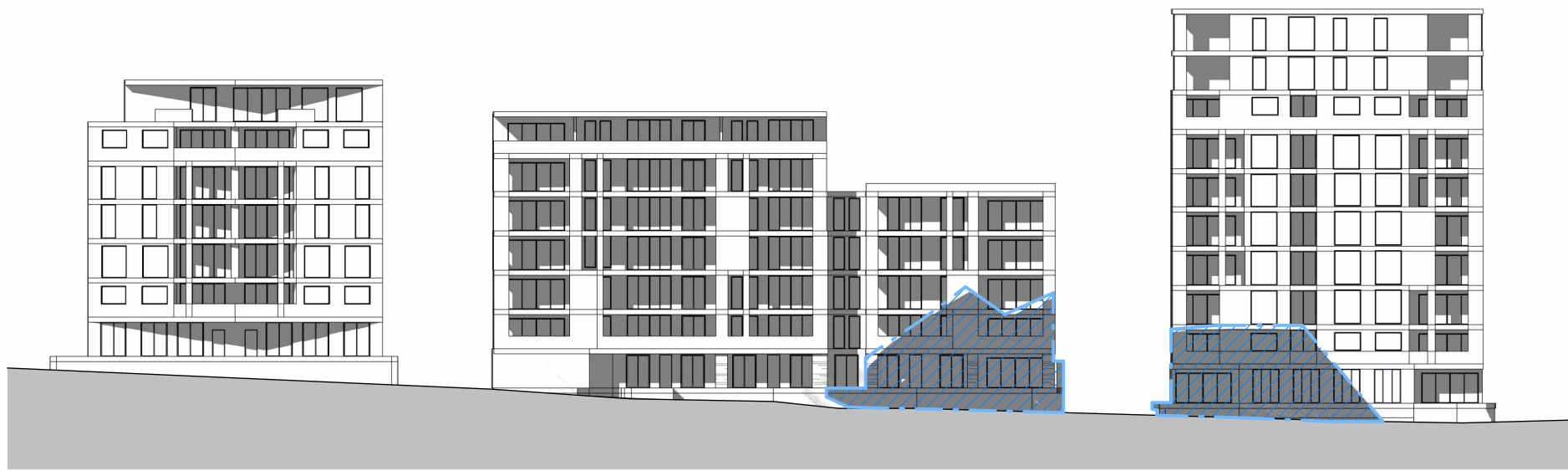


2
D040 JUNE 21 - 1000

"BUILDING A "

"BUILDING B "

"BUILDING C "

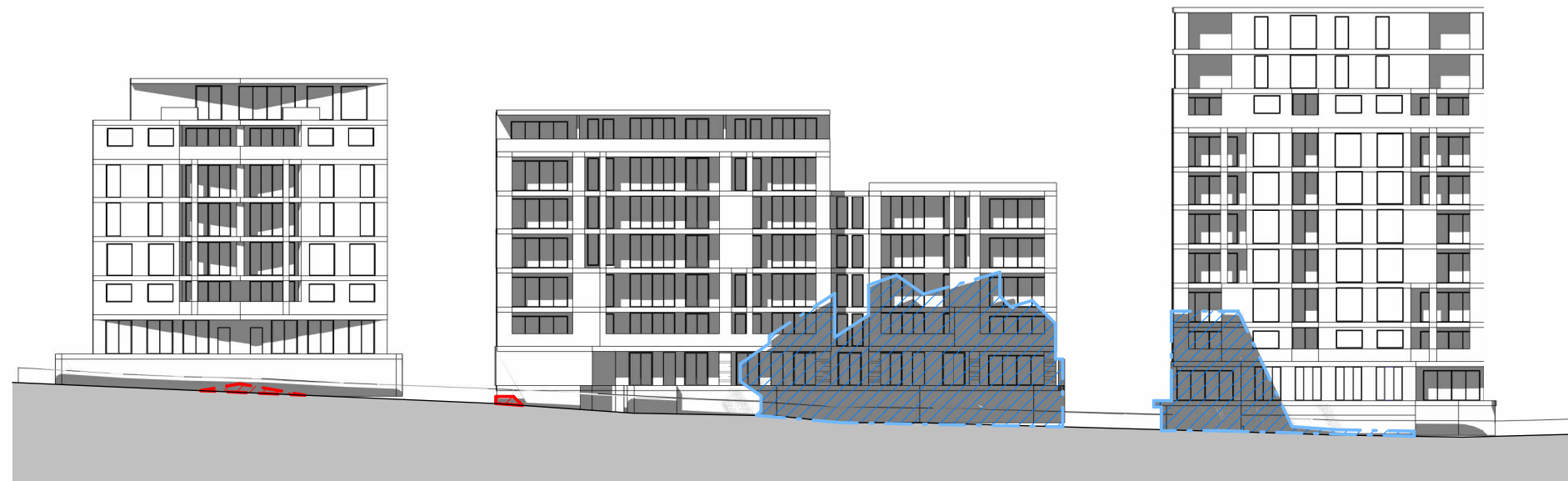


3
D040 JUNE 21 - 1100

"BUILDING A "

"BUILDING B "

"BUILDING C "

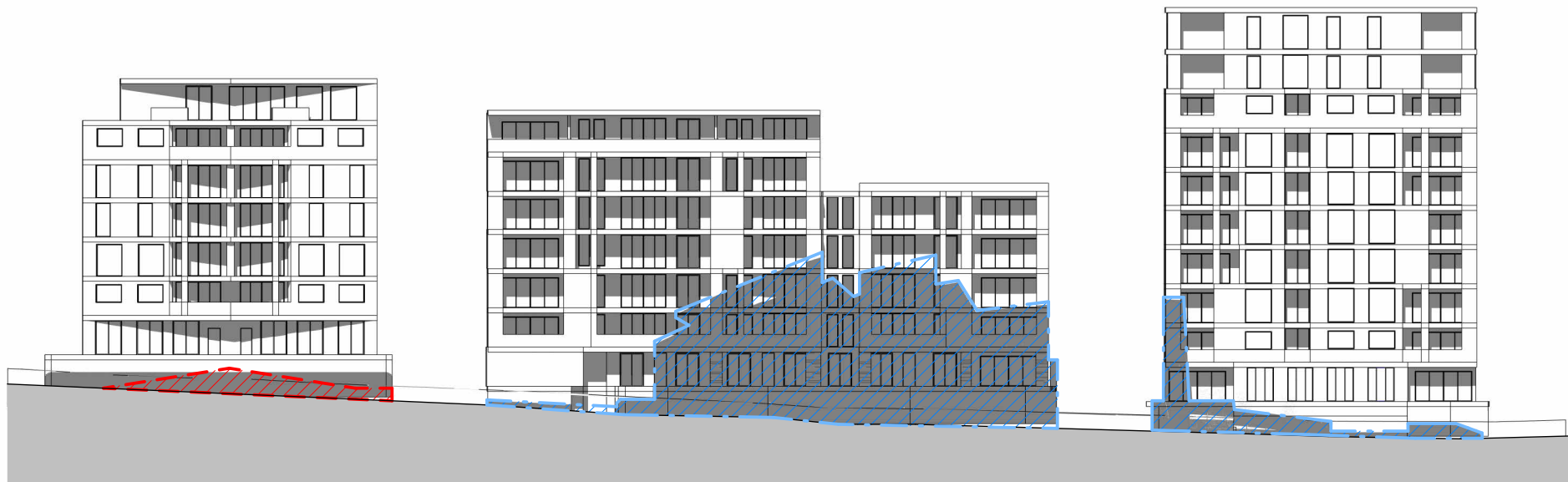


4
D040 JUNE 21 - 1200

"BUILDING A "

"BUILDING B "

"BUILDING C "

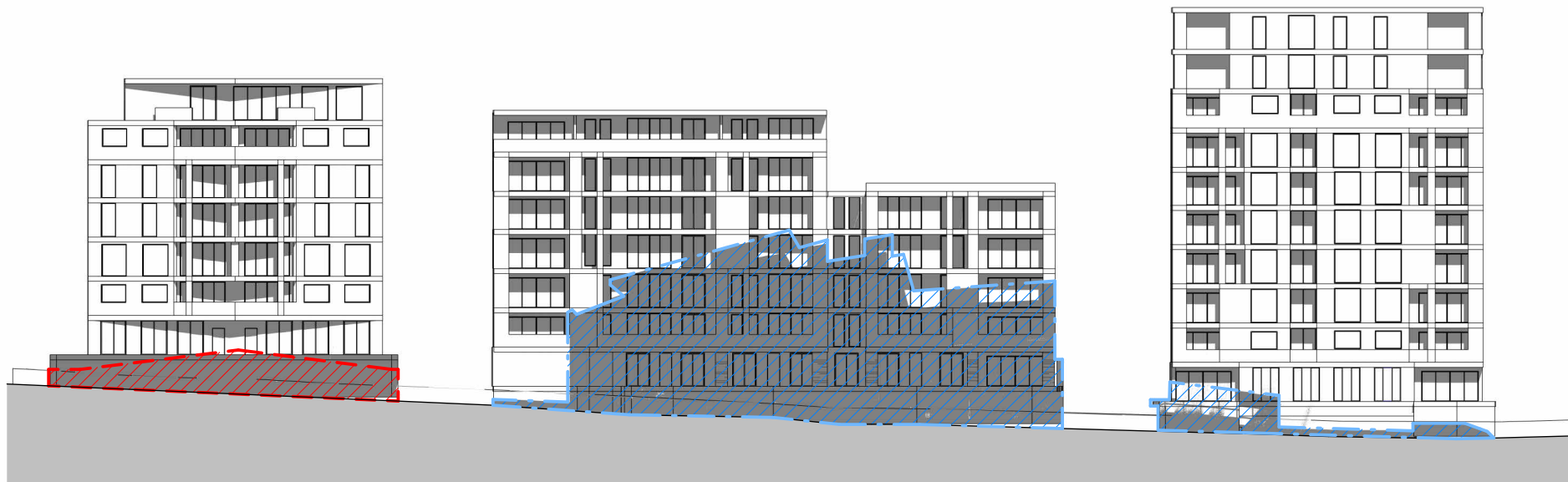


5
D040 JUNE 21 - 1300

"BUILDING A "

"BUILDING B "

"BUILDING C "



6
D040 JUNE 21 - 1400

"BUILDING A "

"BUILDING B "

"BUILDING C "

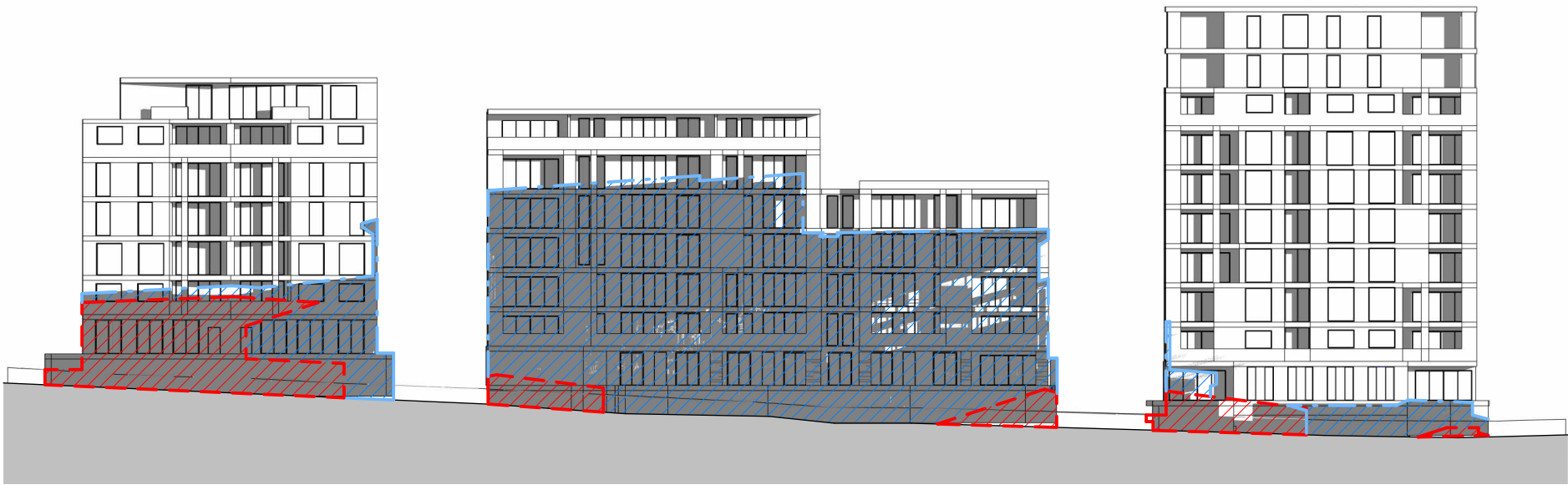


7
D040 JUNE 21 - 1500

"BUILDING A "

"BUILDING B "

"BUILDING C "

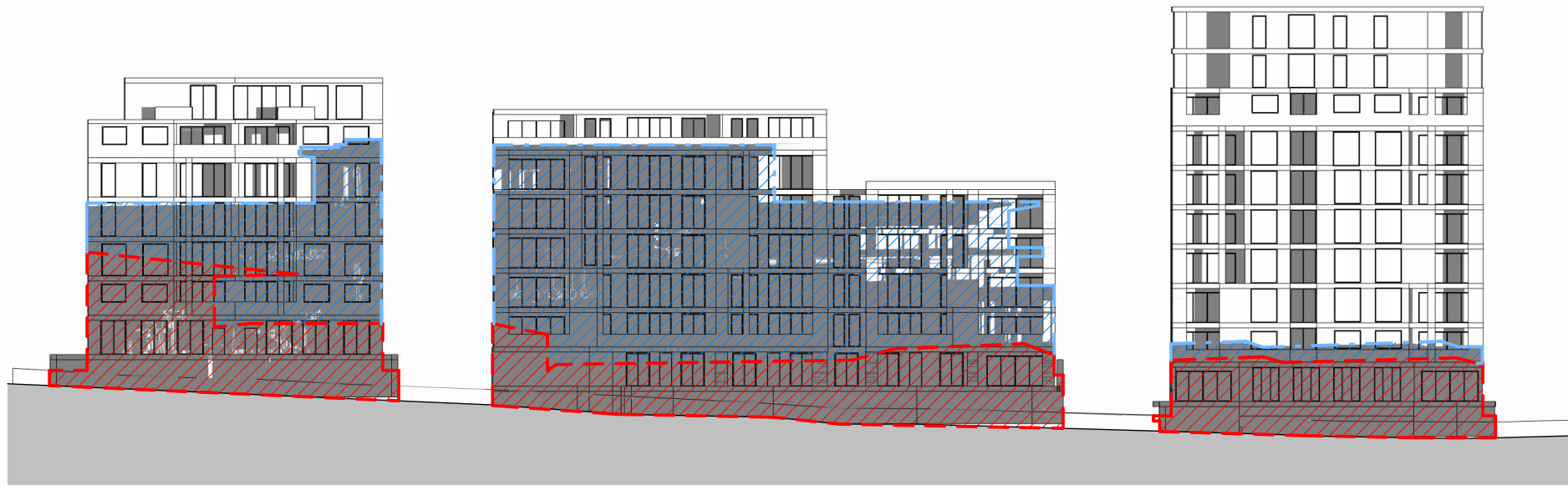


8
D040 JUNE 21 - 1600

"BUILDING A "

"BUILDING B "

"BUILDING C "



9
D040 JUNE 21 - 1700

LEGEND

EXISTING SHADOW OUTLINE

OVERSHADOWING CAUSED BY PROPOSED

SHADOW OF BUILDING A, B & C

ARCHITECTURAL - GENERAL NOTES

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DRAWN DATE ISSUE AMENDMENT

JN 11.06.2024 A RESPONSE TO COUNCIL RFI

PROJECT

206-214 Lakemba Street, Lakemba NSW

SADAD

CLIENT

Greek Orthodox Community of NSW

DRAWING NAME

EXISTING/PROPOSED ELEVATIONAL SHADOWS

SCALE @ A1: As indicated

SCALE @ A3:

DRAWN: MG

CHECKER: NK

DATE: 15.07.2023

JOB NO.

--

DRAWING NO.

D040

ISSUE:

D

Katris Architects Pty Ltd

Nominated Architects: Chris Katris (Reg 9724), Nick Katris (Reg 3878), Peter Katris (Reg 4569)

Level 1, Suite 2, 28-30 Burwood Road, Burwood NSW 2134

PO Box 703 Burwood 1805 NSW Australia

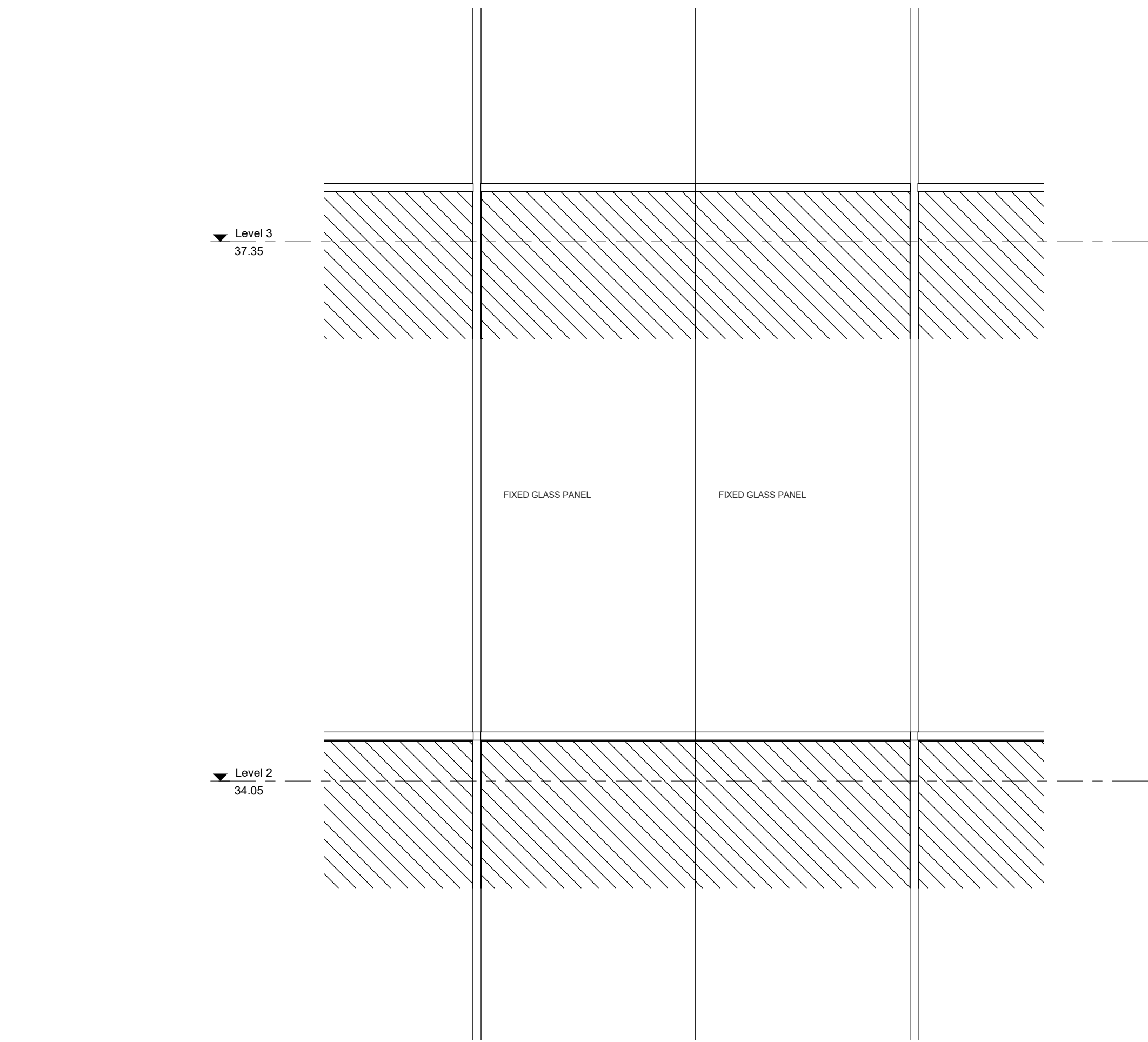
P 02 9744 5421

F 02 9747 5046

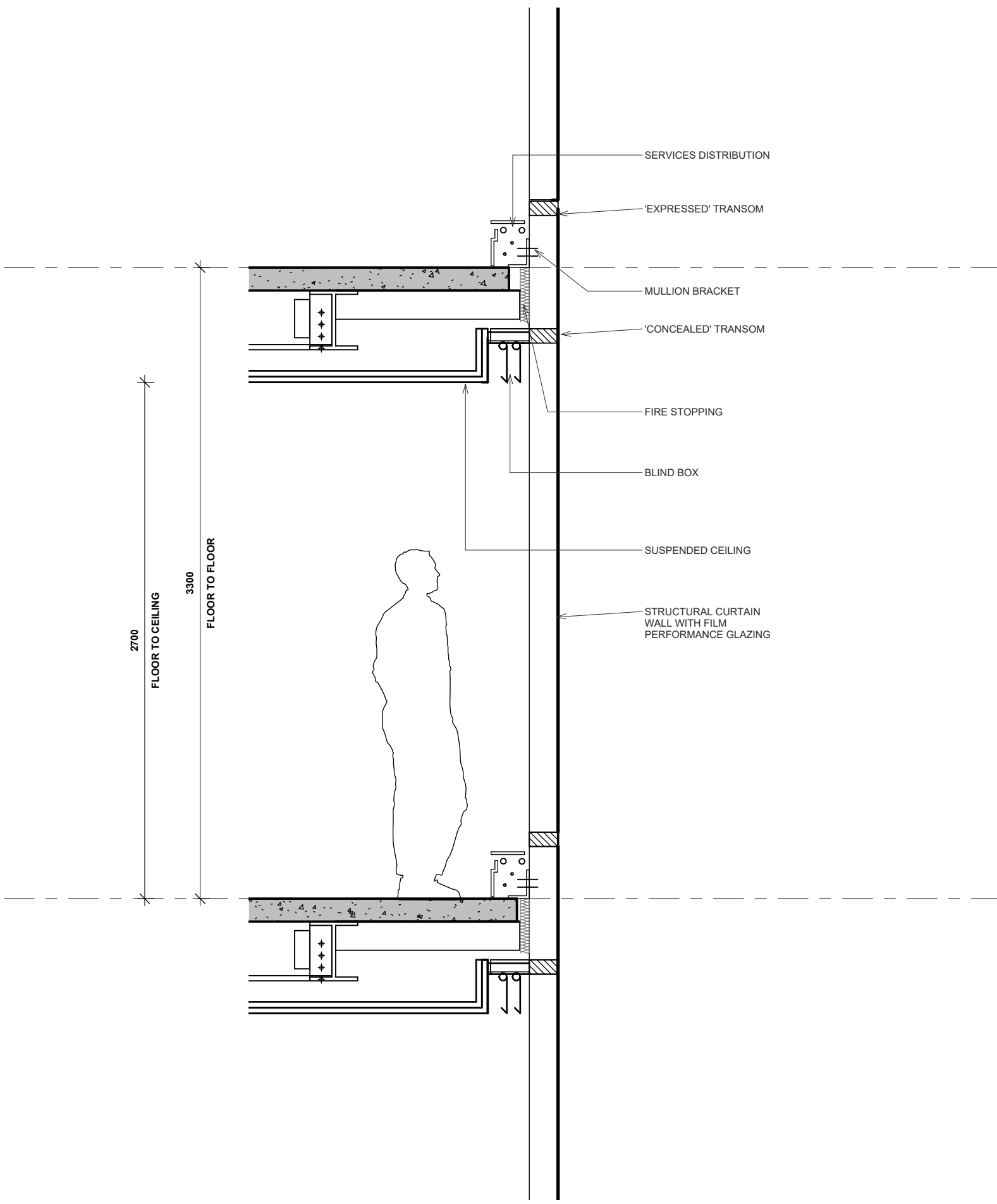
www.katris.com.au

ABN 79 001 639 970

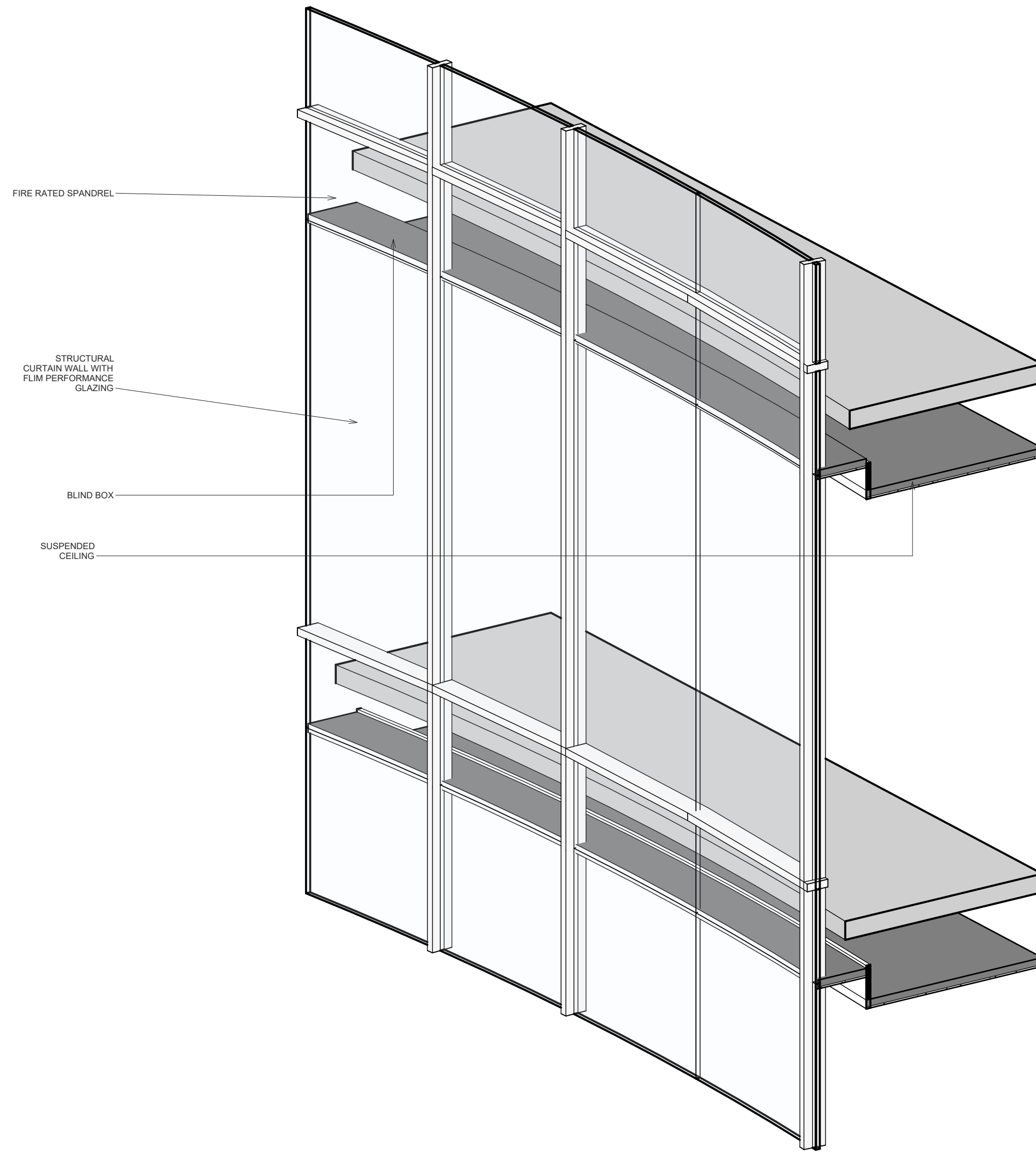




2 FACADE ELEVATION
D041 1 : 25



1 FACADE SECTION DETAIL
D041 1 : 25



3 FACADE DETAIL - 3D VIEW
D041

ARCHITECTURAL - GENERAL NOTES

A1 All dimensions are to be confirmed on site by the builder/subcontractor; any incongruities must be reported to the Architect before commencement of any work.
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DRAWN	DATE	ISSUE	AMENDMENT
JN	11.06.2024	A	RESPONSE TO COUNCIL RFI

RESPONSE TO COUNCIL RFI

PROJECT

206-214 Lakemba Street, Lakemba NSW

SADAD

CLIENT

Greek Orthodox Community of NSW

DRAWING NAME

FACADE DETAILS

SCALE @ A1: 1 : 25

SCALE @ A3:

DRAWN: MG

CHECKER: NK

DATE: 15.07.2023

JOB NO.

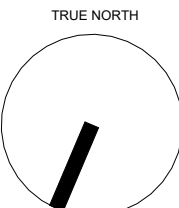
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DRAWING NO.

D041

ISSUE:

D



Katris Architects Pty Ltd

Nominated Architects: Chris Katris (Reg 9724), Nick Katris (Reg 3878), Peter Katris (Reg 4569)

Level 1, Suite 2, 28-30 Burwood Road, Burwood NSW 2134

PO Box 703 Burwood 1805 NSW Australia

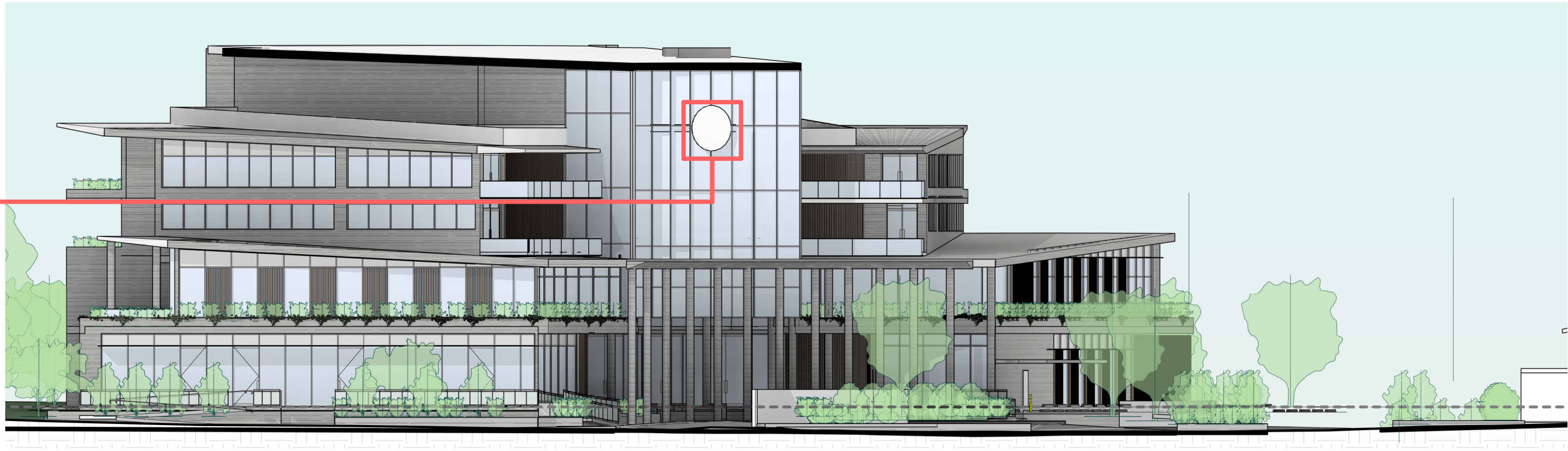
P 02 9744 5421 F 02 9747 5046

www.katris.com.au

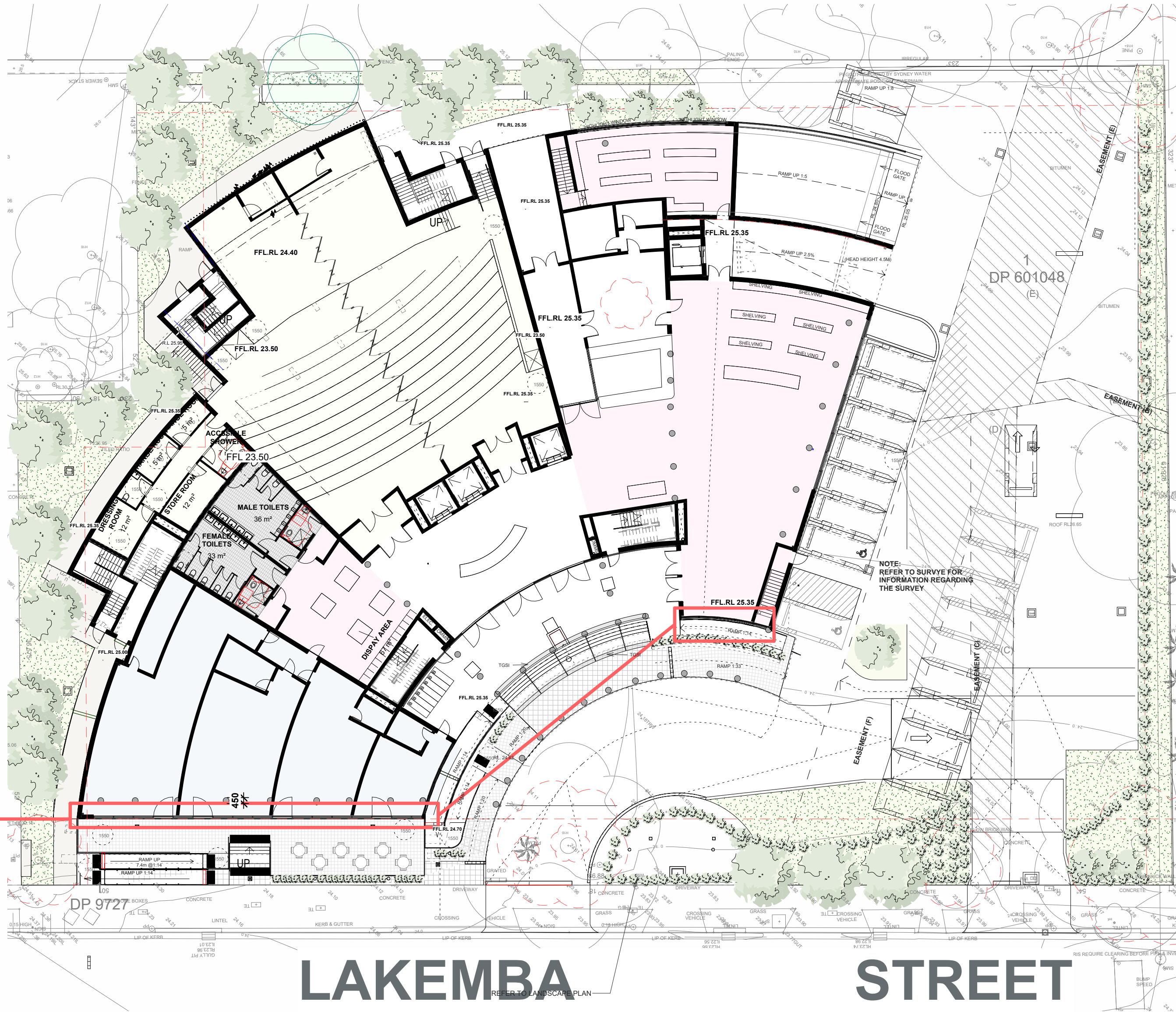
ABN 79 001 639 970



PROPOSED 'GOC' BRANDING SIGNAGE
METHOD OF ATTACHMENT: FIXED TO GLAZED
FACADE. DETAILS TO BE CONFIRMED AT
LATER DATE
ILLUMINATED: YES
METHOD OF ILLUMINATION: LIGHTBOX



2
D042
PROPOSED STREETSCAPE ELEVATION - SIGNAGE
1 : 250



PROPOSED SHOP FRONT SIGNAGE
METHOD OF ATTACHMENT: VINYL DIRECT STICK TO
GLASS OR SUBJECT TO SHOP TENANT/OWNER
AGREEMENT



1
D042
PROPOSED SITE PLAN - SIGNAGE
1 : 250

ARCHITECTURAL - GENERAL NOTES

A1 All dimensions are to be confirmed on site by the builder/subcontractor, any incongruities must be reported to the Architect before commencement of any work.

A2 The Builder/subcontractor will be held responsible for any construction details which have not been approved by the Architect.

A3 In the event of encountering any discrepancies on these drawings, specification or subsequent instructions issued, the Builder/subcontractor shall contact the Architect before proceeding further with any work.

A4 The Builder/subcontractor will be held responsible for the safety of the building for a minimum period of two years after the date of practical completion.

A5 It is the contractor's responsibility to have all Architectural & Structural documentation, including all site instructions any any details issued during the course of construction, approved by the relevant authorities including the local Council & the Water Board before any work may be proceeded with.

A6 All construction, control joints and expansion joints in the wall, floors, & other locations shall be in strict accordance with Architectural and/or Structural Engineering details. Nipoints or breakers other than specified, are allowed without written permission from the Architect and/or Engineer.

A7 Measurements for the fabrication of secondary components such as, windows, doors, internal frames, structural steel components and the like, are not to be taken from these documents. Measurements must be taken on site to suit the work as constructed.

A8 All structural components shall be in strict accordance to details and specifications as prepared by a structural engineer, and these details form part of the total specification.

A9 All existing structures must be examined for structural adequacy, and it is the Contractor's responsibility to ensure that a certificate of structural adequacy is available prior to the start of any work.

A10 No construction work shall commence until a site survey has been completed. This work must be performed by a registered Surveyor.

A11 Foundation set-out, is to be performed by the Surveyor mentioned in A10 and recovery pegs must be protected during construction.

A12 All timber work is to comply with the requirements of the Light Timber Framing Code (S.A.A. Codes and Structural Engineer's details and specification).

A13 Copyright of all documentation and designs relating to both Architectural and Structural Engineering, are retained by this office. Written authority is required for any reproduction.

A14 All Architectural documentation to be read in conjunction with the Structural Engineer's details and specification.

A15 Comply with the 'hazardous materials' clause of the specification.

IMPORTANT NOTE: It is the Tenderer's & Contractor's responsibility to check that all Architectural, Structural and all other job related documentation's have been received before tendering and/or construction may commence. Should there be any doubt to the availability of such documents the Architect should be notified before further details be needed, the tenderer and/or Contractor shall obtain such details before signing of contract documents. Failure to adhere to these conditions, the Tenderer and/or Contractor nullifies any right or claim for extras, due to interpretation of documentation, and the Architect's &/or Engineer's direction shall be carried out at the tenderer's cost.

DRAWN	DATE	ISSUE	AMENDMENT
NB	11.06.2024	A	RESPONSE TO COUNCIL RFI

PROJECT

206-214 Lakemba Street, Lakemba NSW

SADAD

CLIENT

Greek Orthodox Community of NSW

DRAWING NAME

SIGNAGE LOCATION PLAN

SCALE @ A1: 1 : 250

SCALE @ A3:

DRAWN: MG

CHECKER: NK

DATE: 15.07.2024

JOB NO.

--

DRAWING NO.

D042

ISSUE:

D

Katris Architects Pty Ltd

Nominated Architects: Chris Katris (Reg 9724), Nick Katris (Reg 3878), Peter Katris (Reg 4569)

Level 1, Suite 2, 28-30 Burwood Road, Burwood NSW 2134

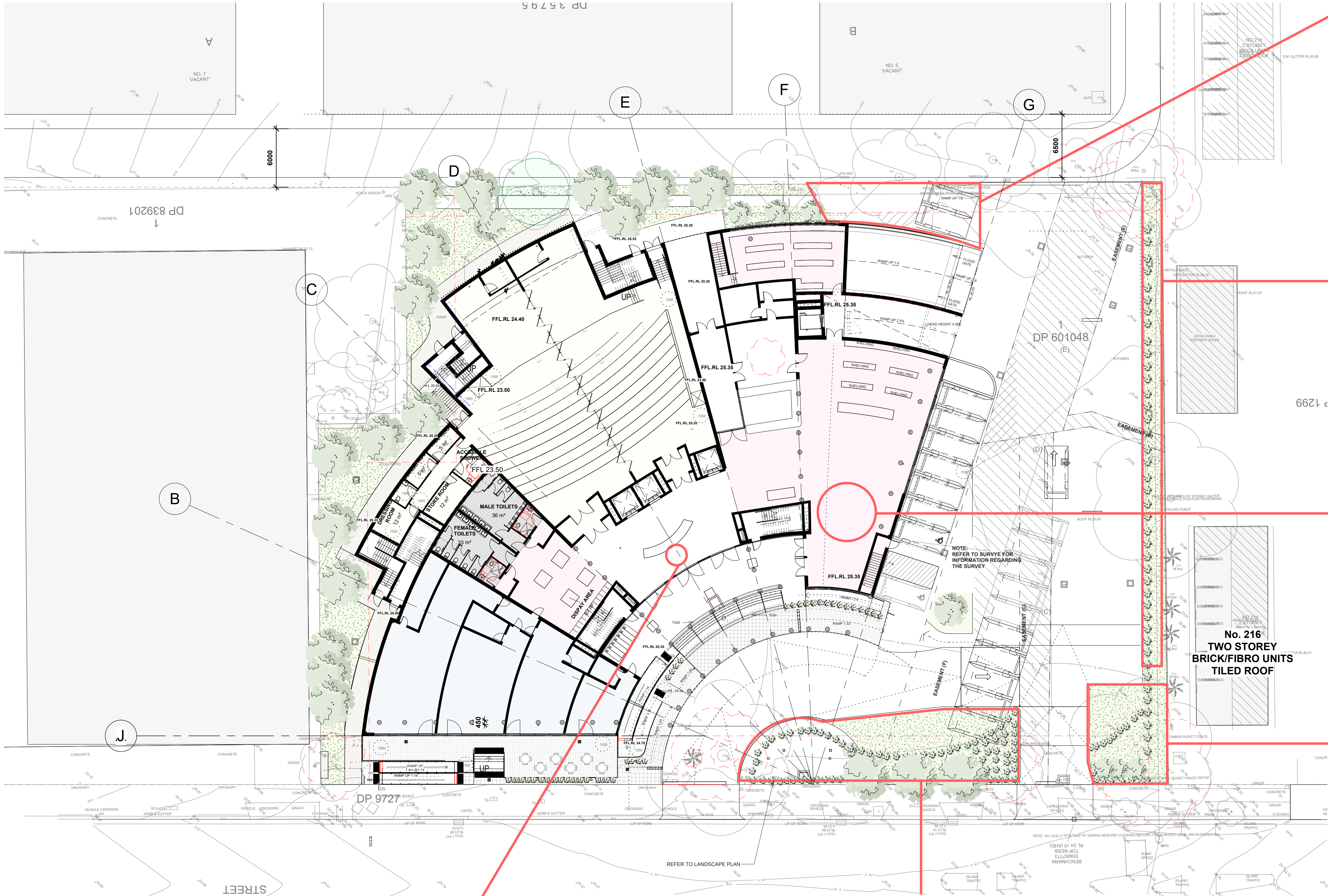
PO Box 703 Burwood 1805 NSW Australia

P 02 9744 5421 F 02 9747 5046

www.katris.com.au

ABN 79 001 639 970





PROPOSED GROUND FLOOR/SITE PLAN

LAKEMBA STREET



Acknowledgement to Country Plaque - Dharug

Lakemba is situated on Dharug land. Therefore it is important when connecting with country to have a plaque that recognises the traditional owners of the land. A plaque located central and immediately at the main access point of the building allows individuals to recognise this. Image above shows an example of a plaque that allows building users to acknowledge traditional custodians of the land.



Landscape Design - Lakemba Street

The landscape design largely uses native plants that reflects the historic landscape and a connection to country. These include different types of plants such as shrubs / grasses / strappy plants / ground cover plants / trees.



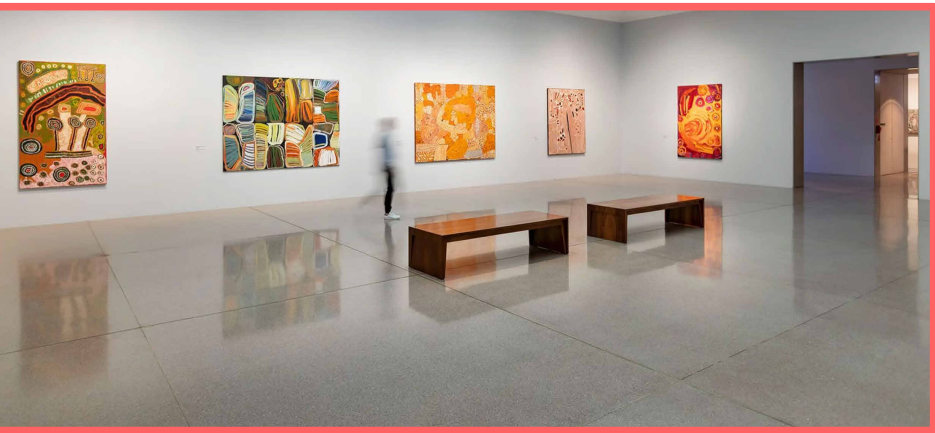
Landscape Area

The landscape design largely uses native plants that reflects the historic landscape and a connection to country. These include different types of plants such as shrubs / grasses / strappy plants / ground cover plants / trees.



Decomposed Granite Path

The use of a decomposed granite path connects the the user with the lanadcape. Creates no seperation between pathway and landscape. The earthy tones a reminiscent to the tones portrayed in Native landscapes.



Arts & Cultural Centre

Area proposed to allow for the celebration of both Greek & Indigenous community arts and cultural work for exhibition. Both communities have rich cultural backgrounds and history that can be expressed for community engagement to the lakemba area that is known for its multi cultural demographic.



Native Tree Retention

Tree notified as tree 2 is a considerable native eucalypt that exist on the site. amendments to the plan have been made for the retention of the native tree a corner stone of the site. Important to the endemic turpentine / ironbark forest of the area pre urbanization.

ARCHITECTURAL - GENERAL NOTES

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DRAWN DATE ISSUE AMENDMENT

NB 11.06.2024 A RESPONSE TO COUNCIL RFI

PROJECT

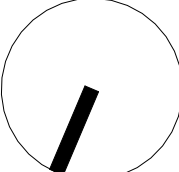
206-214 Lakemba Street, Lakemba NSW

SADAD

CLIENT

Greek Orthodox Community of NSW

TRUE NORTH



DRAWING NAME

INTERPRETATION PLAN

SCALE @ A1: 1:250

SCALE @ A3:

DRAWN: MG

CHECKER: NK

DATE: 15.07.2024

JOB NO.

--

DRAWING NO.

D043

ISSUE:

D

Katris Architects Pty Ltd

Nominated Architects: Chris Katris (Reg 9724), Nick Katris (Reg 3878), Peter Katris (Reg 4569)

Level 1, Suite 2, 28-30 Burwood Road, Burwood NSW 2134

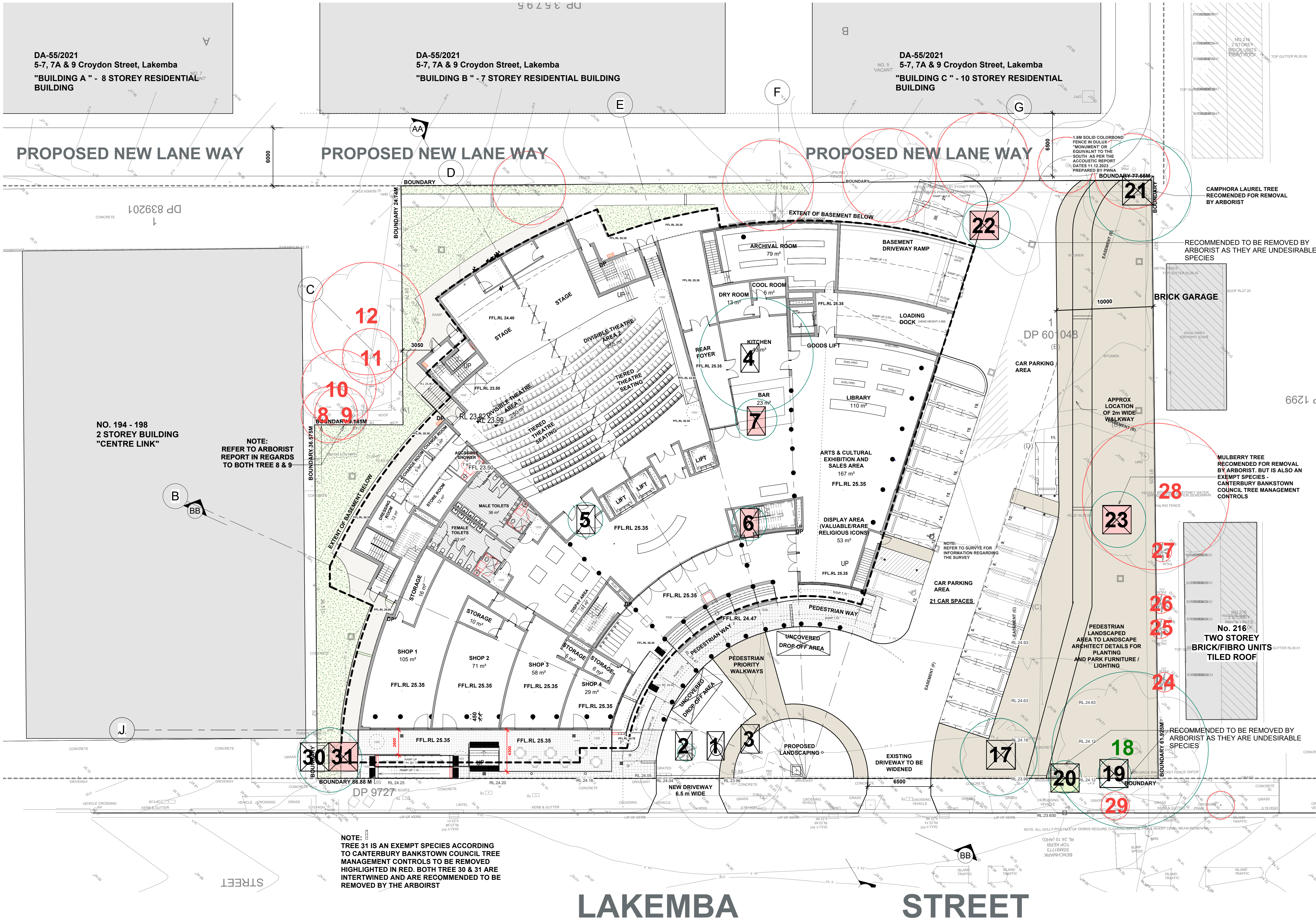
PO Box 703 Burwood 1805 NSW Australia

P 02 9744 5421 F 02 9747 5046

www.katris.com.au

ABN 79 001 639 970





LEGEND:

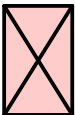
- 28** (green circle) DENOTES TREE WITH IN THE SITE BOUNDARY
- 28** (red circle) DENOTES TREE NOT WITH IN THE SITE BOUNDARY
- 28** (crossed square) DENOTES TREE NUMBER ACCORDING TO ARBORIST REPORT THAT IS TO BE REMOVED
- 28** (green square) NOTE: EXEMPT SPECIES ACCORDING TO CANTERBURY BANKSTOWN COUNCIL TREE MANAGEMENT CONTROLS HIGHLIGHTED IN GREEN TO BE RETAINED

*** IMPORTANT NOTE:**
SITE INSPECTIONS WERE CARRIED OUT WITH THE ARBORIST & THIS DRAWING REPRESENTS THE FINAL AGREED SITUATION WITH REGARDS TO THE TREES THAT ARE TO BE REMOVED EITHER, BECAUSE THEY ARE EXEMPT SPECIES IN ACCORDANCE TO CANTERBURY BANKSTOWN COUNCIL TREE MANAGEMENT CONTROLS OR THEY ARE UNDESIRABLE TREE SPECIES ACCORDING TO THE ARBORIST. SUCH TREES ARE 7 IN NO. AT THIS STAGE WE ARE REMOVING 6 TREES TO CATER FOR THE BUILDING WORKS

PROPOSED EXISTING TREES ON SITE TO BE REMOVED ON SITE

- 1 2 3 4 5 17
- 6 7 19 20 21 22
- 23 30 31

NOTE:
EXEMPT SPECIES ACCORDING TO CANTERBURY BANKSTOWN COUNCIL TREE MANAGEMENT CONTROLS OR THEY HAVE BEEN NOMINATED AS UNDESIRABLE SPECIES BY THE ARBORIST TO BE REMOVED - HIGHLIGHTED IN RED



NOTE:
TREE 31 IS AN EXEMPT SPECIES ACCORDING TO CANTERBURY BANKSTOWN COUNCIL TREE MANAGEMENT CONTROLS TO BE REMOVED HIGHLIGHTED IN RED. BOTH TREE 30 & 31 ARE INTERTWINED AND ARE RECOMMENDED TO BE REMOVED BY THE ARBORIST

PROPOSED GROUND FLOOR/SITE PLAN

1 : 200

ARCHITECTURAL - GENERAL NOTES

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DRAWN DATE ISSUE AMENDMENT
NB 11.06.2024 A RESPONSE TO COUNCIL RPI

PROJECT
206-214 Lakemba Street, Lakemba NSW

SADAD

CLIENT
Greek Orthodox Community of NSW

DRAWING NAME
TREE LOCATION SCHEDULE - REMOVAL / MAINTENANCE OF TREES - ARBORIST LOCATION

SCALE @ A1: As Indicated
SCALE @ A3:

DRAWN: JT
CHECKER: NK
DATE: 15.07.2024

JOB NO. DRAWING NO. ISSUE:
-- D050 D

Katris Architects Pty Ltd

Nominated Architects: Chris Katris (Reg 9724), Nick Katris (Reg 3878), Peter Katris (Reg 4569)
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PO Box 703 Burwood 1805 NSW Australia
P 02 9744 5421 F 02 9747 5046
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